

# Harrisville City Municipal Code

## **11.09 Residential Development Standards**

### **11.09.020 Main Building Development Standards**

#### 3. Additions to existing homes

Any single family dwelling structure ~~having been occupied for a minimum of five years~~ may make an expansion of the dwelling ~~that extends into the area of the rear yard setback for the main portion of the home~~ provided the expansion maintains the setbacks of the respective zone.

~~a.—Maintains the sideyard setbacks of the respective zone;~~

~~b.—Maintains a minimum setback of 15 feet from the rear property line, and~~

~~c.—Is no wider than half the width of the existing house~~

#### ~~6.—Residential Building size and design~~

~~a.—The maximum footprint of a residential dwelling excluding attached accessory uses shall be four thousand (4,000) square feet.~~

~~b.—In order to maintain the traditional residential character developed in Harrisville certain design elements on residential buildings are required. Those required elements are:~~

~~i.—Roofs with a pitch no shallower than a ratio of run to rise 3 to 1~~

~~ii.—Main exterior wall finish materials of brick, stone, siding (vinyl, aluminum, wood or hardiplank) with a maximum 12" width horizontal lines, stucco or glass. Structural block, atlas brick and other larger dimensional concrete masonry units are not permitted for residential dwellings but only for accessory structures or other main buildings.~~

### **11.09.040 Parking Regulations.**

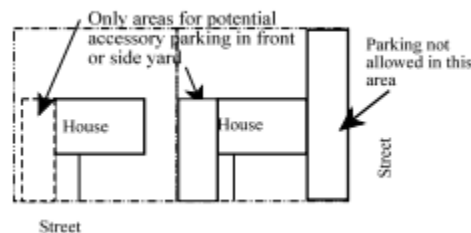
#### 1. Required parking

In all residential zones there shall be provided in a detached or attached garage or in an area located where a future garage could be constructed on the same lot as the dwelling two side by side concrete or asphalt surfaced parking spaces per dwelling unit and paved driveway access leading from the street to the required parking.

Required parking must be located behind the front setback required for the main building. Non dwelling permitted uses shall locate the parking for the use on a hard surface of concrete or asphalt behind the **front** setback required for the main building unless otherwise stated in city ordinances.

## 2. Additional Off Street Parking

- a. Parking or storing of additional operational and licensed vehicles in one required sideyard or the front yard setback of a dwelling may be allowed provided that the following conditions are complied with;
  - i. The dwelling unit has the minimum number of two (2) required off street parking spaces and access to those parking spaces is on a concrete or asphalt driveway.
  - ii. Any additional parking space must remain open and unobstructed to the sky.
  - iii. The surface treatment for the additional vehicle parking and the access to the additional parking if located in the side yard is either road base, gravel or a hard surface material of concrete or asphalt.
  - iv. The additional parking space in the front yard is limited to only the area between the hard surface driveway and the nearest sideyard property line. Parking can not extend into the area between the dwelling and the street nor in the sideyard facing a street on a corner lot.
  - v. All storm water run off must be directed to prevent drainage onto adjacent properties.
  - vi. No additional parking space or vehicle shall be located in the sideyard or frontyard setback facing a street on a corner lot.



- b. Uncovered parking for recreational vehicles may be permitted in the area behind the rear of the dwelling and in the rear yard setback provided that;

- i. The vehicles parked are currently licensed and operational
- ii. The parked vehicles do not occupy more than twenty-five (25%) of the rear area of the property, and
- iii. Parking does not need to be on hard surface.

### 3. Parking of Agricultural or Farm Equipment

When a farm or agricultural use occurs on the property, machinery and equipment necessary for the use may be parked or stored on the property without a required hard surface provided that the equipment parking or storing area is setback a minimum of sixty (60) feet from any public street. When the parking or storage area is open to the sky and when a structure exists on the property the parking shall be located in such a manner that the structure serves as a screen between the equipment or vehicles and adjacent property lines or public street.

### 4. Parking and Access Surfaces, Locations and Size

- a. Required parking for a dwelling and access to the required parking if one hundred (100') feet in length or less from the public street property line shall be paved with an asphalt or concrete surface. For distances longer than one hundred (100') feet gravel or road base are approved surface materials for parking areas and access lanes. Driveways and parking areas shall be designed so that storm water runoff from these surfaces does not flow to adjacent properties.
- b. For all uses permitted in a residential zone, none of the front and side yard setback areas required by the respective zone shall be used for parking with the exception of the sideyard parking according to the provisions of the chapter. Access across the required front yard is allowed to the side yard or rear yards. No more than twenty-five percent (25%) of the area from the rear of the building to the rear property line may be used for parking.
- c. Driveway widths
  - i. Single family homes
    - 1. Minimum width ten (10') feet
    - 2. Maximum width thirty-two (32') feet
  - ii. Attached dwellings
    - 1. Minimum width twenty (20') feet

2. Maximum width thirty-four (34') feet
- iii. Apartment
    1. Minimum width twenty-four (24')
    2. Maximum width thirty-four (34') feet
- d. Parking Size/ Garage Door Requirements~~The minimum size for a required parking space is nine(9') feet wide and eighteen (18') feet long.~~
    - i. for unobstructed, enclosed, or covered parking the minimum parking width shall be ten (10) feet and the minimum parking length shall be twenty (20) feet.
    - ii. for uncovered parking the minimum parking width shall be nine (9) feet and the minimum parking length shall be twenty (20) feet.
    - iii. One (1) car garage doors must be a minimum of nine (9) feet wide.
    - iv. Two (2) car garage doors must be a minimum of sixteen (16) feet wide.