



# HARRISVILLE CITY

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PLANNING  
COMMISSION:  
Angie Francom  
Chad Holbrook  
Isaac Thomas

**Harrisville City Planning Commission  
Harrisville City Offices  
363 W Independence Blvd – Harrisville  
Wednesday, November 12, 2025**

**AGENDA**

[\*\*Zoom Meeting Link\*\*](#)

**Meeting ID: 874 4153 6329  
Passcode: 478451**

- 1. CALL TO ORDER**
- 2. CONSENT APPROVAL** – of Planning Commission meeting minutes from October 8, 2025.
- 3. DISCUSSION/ACTION/RECOMMEND** – to grant Final Site Plan approval for Harrisville Commercial development located at approximately 2550 North 750 West.
- 4. DISCUSSION/ACTION/RECOMMEND** – to grant proposed Conditional Use Permit #149 for personal training services located at approximately 364 West 1125 North.
- 5. PUBLIC COMMENTS** – (3 minute maximum)
- 6. COMMISSION/STAFF FOLLOW-UP**
- 7. ADJOURN**

**Certificate of Posting and Notice**

I, Cynthia Benson, certify that I am the Deputy Recorder of Harrisville City, Utah, and that the foregoing Planning Commission agenda was posted and can be found at City Hall, on the City's website [www.harrisvillecity.gov](http://www.harrisvillecity.gov), and at the Utah Public Meeting Notice Website at <http://pmn.utah.gov>. Notice of this meeting has also been duly provided as required by law. In accordance with the Americans with Disabilities Act (ADA), the Harrisville City will make reasonable accommodations for participation in the meeting. Please make a request for accommodation with the City Offices at 801-782-4100 at least three (3) business days prior to any meeting.



# Harrisville City Planning Commission Minutes

Harrisville City Offices

363 W Independence Blvd – Harrisville

Wednesday, October 8, 2025 – 7:00 PM

**Commissioners:** Chad Holbrook  
Isaac Thomas  
Christina Palmer

**Staff:** Jennie Knight, City Administrator  
Sarah Wichern, City Planner  
Cynthia Benson, Deputy Recorder

**Excused:** Angie Francom, Planning Commission Chair

**Visitors:** No visitors

## 1. CALL TO ORDER

Commissioner Holbrook called the meeting to order and welcomed all in attendance. Angie Francom, Chair, was excused. With the Vice Chair position vacant due to a resignation earlier this year, Commissioner Holbrook requested consent from the commissioners to chair the meeting. All commissioners agreed. He welcomed Christina Palmer as the newest member of the Planning Commission.

## 2. CONSENT APPROVAL – of Planning Commission meeting minutes from August 13, 2025.

**MOTION:** Commissioner Thomas motioned to approve meeting minutes from August 13, 2025, as written. Commissioner Palmer seconded the motion.

Chad Holbrook	Yes
Isaac Thomas	Yes
Christina Palmer	Yes

The motion passed with all voting in the affirmative.

## 3. DISCUSSION/ACTION/RECOMMEND – to recommend Ordinance 562: Housing Affordability.

The discussion began with the commissioners reviewing the City Council and Planning Commission work session from last month. Commissioner Thomas felt the ordinance, as written, was a good start in meeting the city goals for affordable housing. Commissioner Palmer requested clarification on the timeline for affordable housing implementation. She also asked if the city had specific land areas to apply the ordinance too. Sarah Wichern, City Planner, stated the city is looking at the ordinance as an option for developers to apply to their particular projects. It can be implemented as soon as it is approved. The ordinance is for more affordable housing in our current residential zones. This would not apply to the commercial since the city already has other overlay ordinances in place to apply to those zones.

The commissioners reviewed the recommendations mentioned in the City Planner's memo dated October 8, 2025. The first suggestion was with the Owner Occupied [11.16.010 (e)] definition.

Ms. Wichern suggested the state definition reads as follows: "*Owner-occupier*" means an individual who owns, solely or jointly, a housing unit in which the individual lives as the individual's primary residence. The current language allows for the use of trusts to establish ownership. She suggested changing this definition to match the state definition to limit loopholes trusts create and to make a cleaner ordinance.

Her next suggestion was the lot width and lot frontage [11.16.050 C.3. (c)]. This section outlines the rare exception when a house is on the outside curve of a street right-of-way creating a difference in appearance with the setbacks. The ordinance states *design standards shall be followed unless a developer can present compelling reasoning to deviate from the given standards*. Because the ordinance allows for exceptions on the basis of a "compelling reason" this section on lot width and lot frontage could be eliminated, on the basis of language cleanup, as it would fall under the "compelling reason" exception.

The next suggestion Ms. Wichern addressed was Concept Plans [11.16.060 B.1. (b) & (c)]. The current draft requires developers to submit cost estimates and "expected margins" as part of their concept plans. While well-intended, this approach may create challenges due to every contractor having vastly different pricing. Tying design standards to a developer's self-reported costs could allow applicants to contest requirements based on their individual land and material expenses, rather than community planning objectives putting pressure on the city to compromise our design standards. In addition, requiring disclosure of projected margins may reduce the incentive to present accurate or competitive pricing for the proposed project. She stated the city would rather place this burden on the developer to make the pricing work for the city's requirements and not a negotiation point. These changes maintain the City's authority to establish reasonable affordability expectations and community standards while still giving developers flexibility in their design approach.

Jennie Knight, City Administrator, said the intention of the ordinance expectations is to hold the developer accountable for maintaining the target price. The focus is the affordability factor. The city is currently in a unique situation. With the new state requirements, cities are now being asked to apply development standards to land in order to maintain the affordability factor where, in the past, they were to apply the development standards to the application.

Ms. Wichern read Chair Francom emailed comments. *I agree with the Oct 8 staff report memo and recommendations, both one and two, written by Sarah Wichern.* She had no opinion on recommendation for #3 since she had not read it when she sent her emailed comments.

Commissioner Holbrook asked Ms. Wichern if she felt these changes would strengthen the ordinance and not weaken it. Ms. Wichern replied the language of the ordinance gives a focus for the developers to create a viable product. She recommends the revisions. She reviewed the ways to make the motion for the ordinance.

Commissioner Holbrook asked for clarification on the approval process for the preliminary plat. Currently the ordinance reads, *The Planning Commission will approve the Preliminary Plat after review by the appropriate city departments.* After some discussion, it was decided the word "will" will be removed and the word "may" will be used to soften the sentence.

**MOTION: Commissioner Thomas motioned to recommend Ordinance 562: Housing**

**Affordability, with revisions outline in city planner's memo dated October 8, 2025, with the follow revision to change wording on page 5, before process F, as discussed. Commissioner Palmer seconded the motion.**

<b>Chad Holbrook</b>	<b>Yes</b>
<b>Isaac Thomas</b>	<b>Yes</b>
<b>Christina Palmer</b>	<b>Yes</b>

**The motion passed with all voting in the affirmative.**

#### **4. PUBLIC COMMENTS – (3 minute maximum)**

No Public Comments were received.

#### **5. COMMISSION/STAFF FOLLOW UP**

Ms. Knight reported she and the mayor attended the Utah League Cities and Towns conference last week where a presentation was given similar to what the city has completed with the Ben Lomond project in respect of the affordability aspect. The city is hoping this ordinance will be another tool to entice developers to come into the city.

Commissioner Holbrook asked how many parcels meet the requirements of five (5) acres within the city. Ms. Knight replied there are not as many as there used to be. As part of the Moderate-Income Housing report the city identifies the number of housing units are entitled under their current zoning on buildable parcels. Ms. Wichern stated it is possible for developers to purchase more than one parcel. In the ordinance it states, *to be considered for the Housing Affordability Overlay the overall project acreage must be a minimum of five (5) acres.* This does not mean the development needs to be one parcel.

Ms. Knight added this ordinance could be used as an in-fill ordinance. During one of her meetings last week, she was informed about a company who builds rental units at first then turns the units into dwellings once the federal statutes wear off. These developers look for larger acreage to accomplish the affordability aspect. She thanked the commissioners for having an open mind to meet Governor Cox's requirements for more affordable housing.

Commissioner Holbrook asked for an update on Ben Lomond development. Ms. Knight said they are going vertical, and the roads are paved for phase 2A. He asked about Copperwoods commercial progress. Ms. Wichern stated there is nothing new to report with this project but will follow up with the developer.

#### **6. ADJOURN**

Since there were no other follow-up items to report, Commissioner Holbrook exercised his right as temporary Chair and adjourned the meeting.

Meeting adjourned at 7:32 PM.

**Chad Holbrook**  
Temp – Chair

**Cynthia Benson**  
Deputy Recorder

# MEMORANDUM

TO: Harrisville City Planning Commission

FROM: Matt Robertson, City Engineer  
Sarah Wichern, City Planner

RE: **2550 NORTH 750 WEST COMMERCIAL SITE**  
**Final Site Plan Review**

Date: November 6, 2025

Our office has completed a review of the final site plan for the commercial site located at approximately 2550 North 750 West. The parcel has previously been rezoned to CP-2. The proposed plan shows a new 28,000 SF building and associated parking lot per the attached plans. The development will improve the roadway on 750 West and on 2550 North (Pleasant View City road). Previous comments and concerns have been addressed, and we recommend final approval at this time with the following comments that will need to be addressed prior to construction:

1. Obtain final approval of the street improvements on 2550 North from Pleasant View City. They have indicated that they will be sending over an approval letter shortly.
2. Provide a Will Serve letter from Bona Vista Water.
3. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State.

Prior to construction, the Contractor must hold a pre-construction meeting with City Staff. Please let us know if you have any questions.

# HARRISVILLE COMMERCIAL

## CONSTRUCTION DOCUMENTS

### HARRISVILLE CITY, WEBER COUNTY, UTAH

#### TRAFFIC CONTROL & SAFETY NOTES

1. WORK ZONES IN 2550 NORTH WILL CONFORM TO PLEASANT VIEW CITY STANDARDS. WORK ZONE IN 750 WEST WILL CONFORM TO HARRISVILLE CITY STANDARDS.
2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY WORK.
3. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH HARRISVILLE CITY STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH HARRISVILLE CITY STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE PUBLIC WORKS SANITARY SEWER DEPARTMENT HEAD PRIOR TO FINAL ACCEPTANCE.
6. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO THE HARRISVILLE CITYENGINEER PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. CAMERA TESTING AND PRESSURE TESTING PER HARRISVILLE CITY STANDARD.

#### GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE HARRISVILLE CITY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH HARRISVILLE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

#### SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY HARRISVILLE CITY AND STATE OF UTAH.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

#### STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
  - A) OBTAIN ALL REQUIRED PERMITS FROM HARRISVILLE CITY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
  - B) RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
  - C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
  - D) PROVIDING AS-BUILT DRAWINGS TO HARRISVILLE CITY AND THE ENGINEER.
  - E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH PLEASANT VIEW CITY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH HARRISVILLE CITY STANDARDS, SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND HARRISVILLE CITY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN HARRISVILLE CITY AND PLEASANT VIEW CITY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

#### GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND HARRISVILLE CITY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET HARRISVILLE CITY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE HARRISVILLE CITY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. HARRISVILLE CITY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A HARRISVILLE CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH BONA VISTA WATER TO OBTAIN A WATER METER.

#### CULINARY WATER GENERAL NOTES

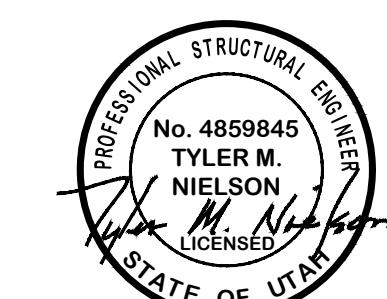
1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO BONA VISTA WATER STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CONCRETE CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO BONA VISTA WATER.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY BONA VISTA WATER AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM BONA VISTA WATER.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
11. BONA VISTA WATER REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

#### SECONDARY WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL ADHERE TO PINEVIEW WATER STANDARDS AND SPECIFICATIONS.
2. PIPES SHALL BE C-900 DR18 PVC (PURPLE), WITH LOCATOR TAPE AND 14 GA. COPPER LOCATOR WIRE.

#### SHEET INDEX

C1	- COVER SHEET
C2	- DEMOLITION PLAN
C3	- SITE PLAN
C4	- SITE GRADING PLAN
C5	- SITE UTILITY PLAN
DT1	- UNDERGROUND DETENTION AND DETAILS
DT2	- STANDARD SITE DETAILS
DT3	- STANDARD SITE DETAILS
EC1	- EROSION CONTROL PLAN



ALL IMPROVEMENTS TO CONFORM TO HARRISVILLE CITY STANDARDS AND SPECIFICATIONS  
CULINARY WATER IMPROVEMENTS TO CONFORM TO THE BONA VISTA WATER STANDARDS AND SPECIFICATIONS  
SECONDARY WATER IMPROVEMENTS TO CONFORM TO THE PINEVIEW WATER STANDARDS AND SPECIFICATIONS



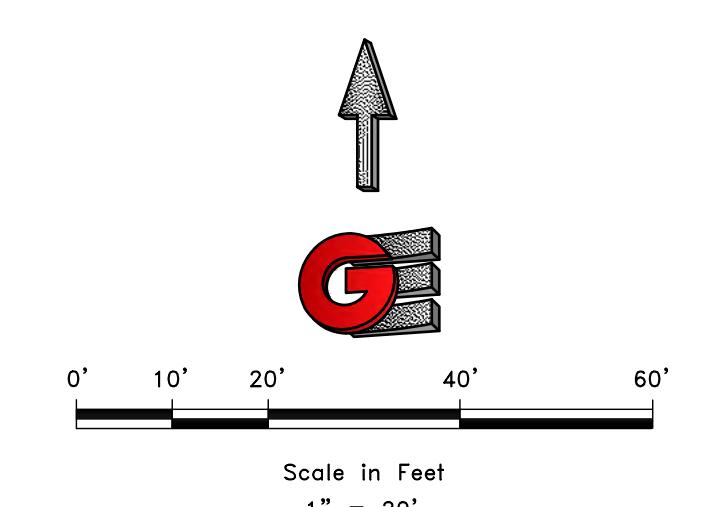
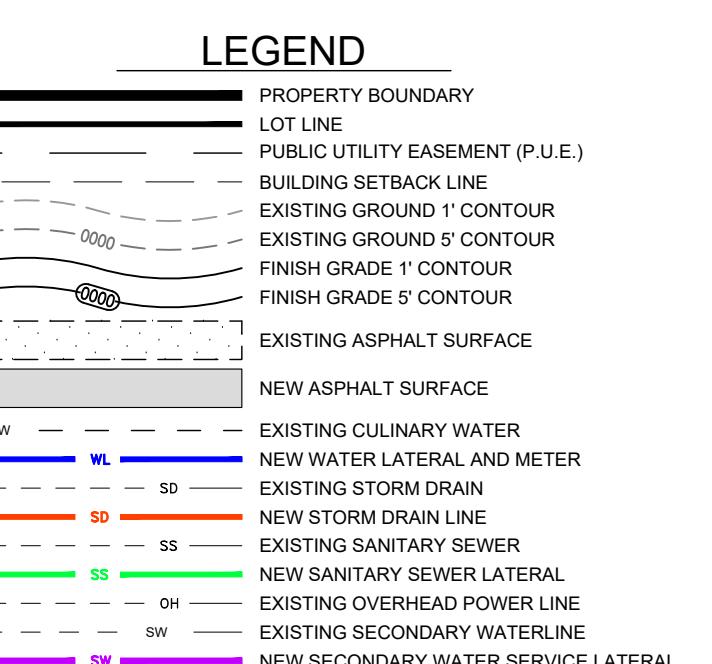


#### DEMOLITION PLAN KEY NOTES

- 1 EXISTING BUILDING TO BE DEMOLISHED
- 2 EXISTING CONCRETE TO BE REMOVED
- 3 EXISTING FIRE HYDRANT TO BE RELOCATED (REFER TO SHEET C5)
- 4 EXISTING 4 RAIL FENCE TO BE PROTECTED IN PLACE
- 5 EXISTING FENCE TO BE REMOVED
- 6 EXISTING GAS METER TO BE REMOVED
- 7 EXISTING DRAINAGE DITCH TO BE FILLED IN AND ABANDONED
- 8 EXISTING ASPHALT TO BE SAWCUT
- 9 EXISTING ASPHALT PAVING TO BE REMOVED
- 10 EXISTING POWER POLES AND POWER BOXES TO BE RELOCATED
- 11 EXISTING COMMUNICATION BOXES TO BE RELOCATED
- 12 EXISTING PIPE CULVERT TO BE PROTECTED IN PLACE
- 13 EXISTING PIPE CULVERT TO BE REMOVED
- 14 REMOVE ALL VEGETATION AND 6" MIN. SOIL, BACKFILL AND COMPACT WITH 2" MAX. GRANULAR BORROW

**GENERAL DEMOLITION NOTES:**

1. The location of existing utilities shown are approximate. The contractor shall field verify the location and elevation of all utilities shown or not shown on the plans. Notify the civil engineer of any conflicts prior to any connections being made.
2. The existing asphalt paving to be removed adjacent to existing asphalt paving to remain is to be sawcut prior to removal.
3. All utilities to remain shall be protected in place to prevent damage or debris from entering boxes or manholes.
4. Adjust rim to grad on existing storm drain or sanitary sewer structures that will remain in place.
5. Service laterals in 750 West St. to be removed at the time of home demolition. The contractor shall coordinate with Harrisville City, Pleasant View City and appropriate utility companies to ensure proper termination of all existing laterals.



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P 801.476.0201 F 801.476.0066

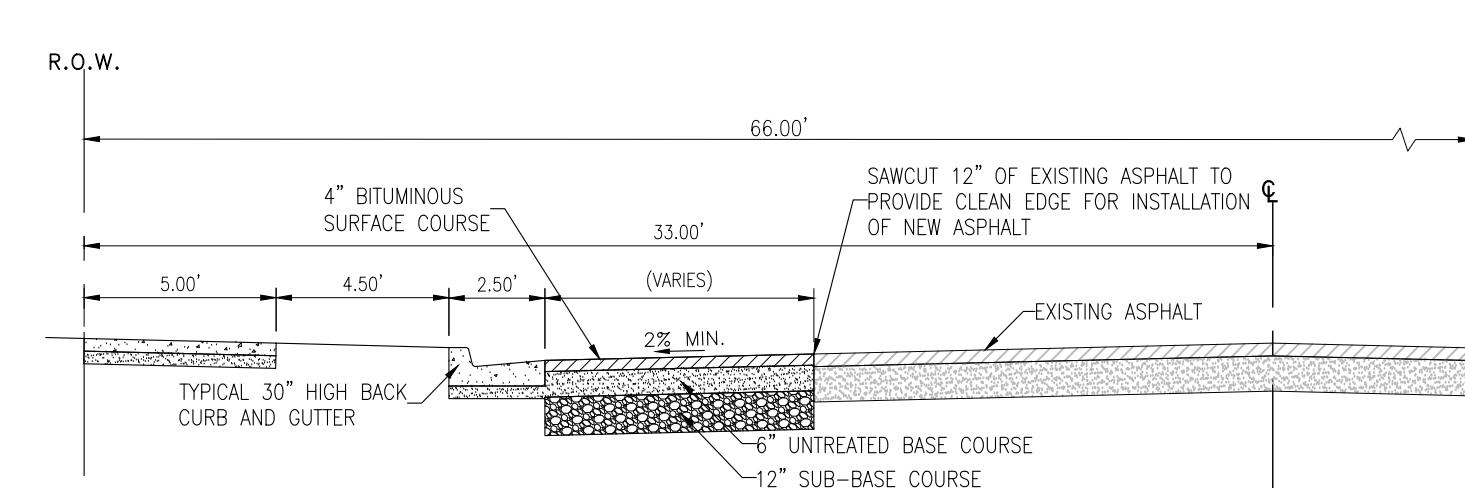
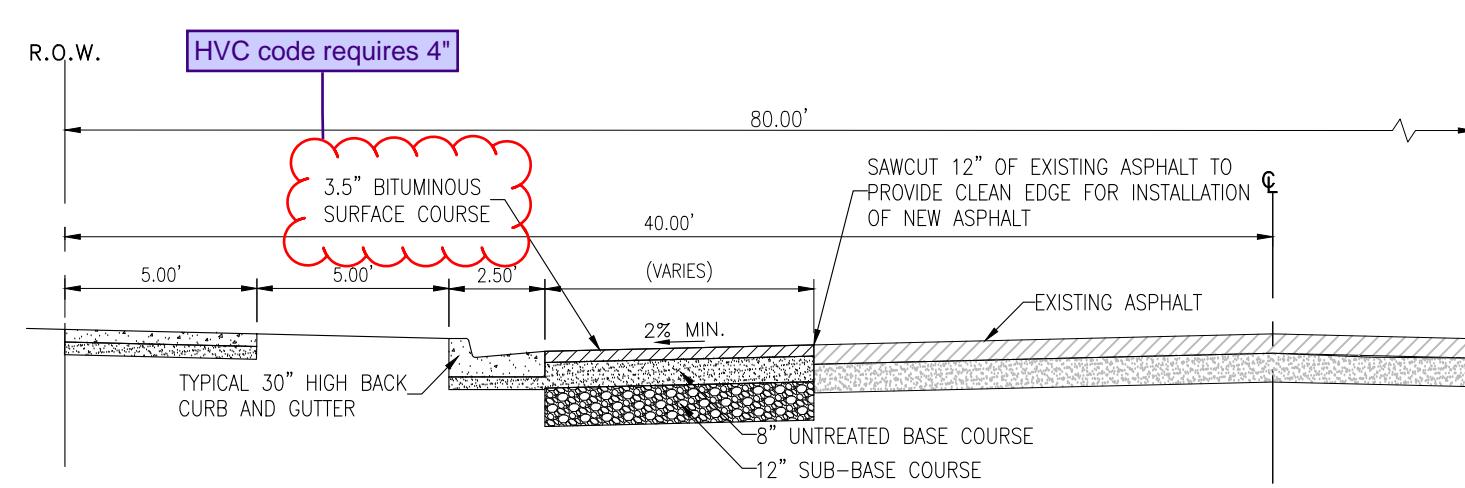
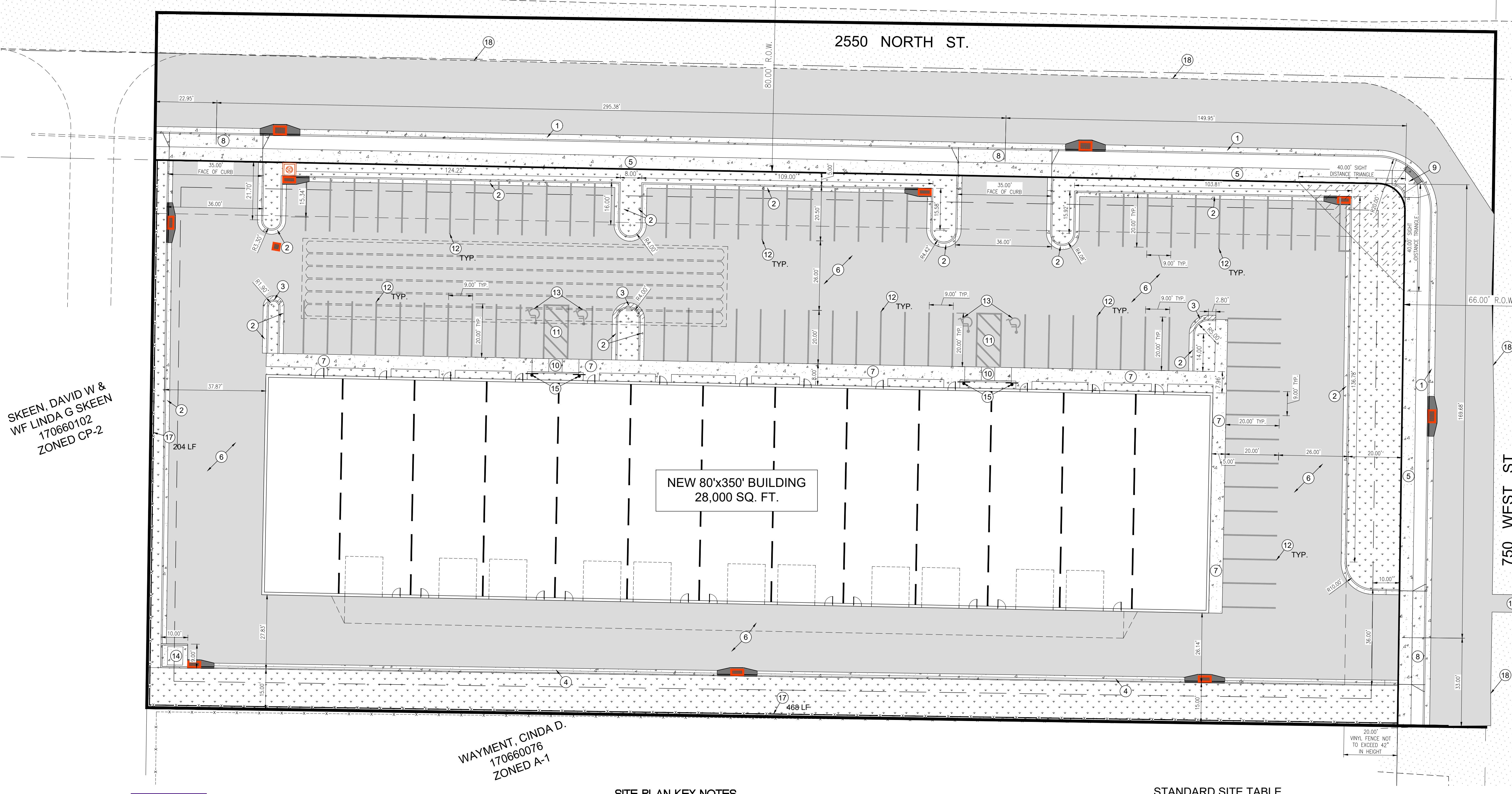


C2

SCALE: 1" = 20'	DATE: 12-27-2025
DESIGN: B&D	DRAWN: B&D
CHECKED: TN	DWG. #: R-2205

PROFESSIONAL STRUCTURAL ENGINEER  
No. 4859845  
TYLER M.  
NIELSON  
LICENCED  
STATE OF UTAH

DEMOLITION PLAN	HARRISVILLE COMMERCIAL	2550 NORTH 750 WEST	HARRISVILLE CITY, WEBER COUNTY, UTAH
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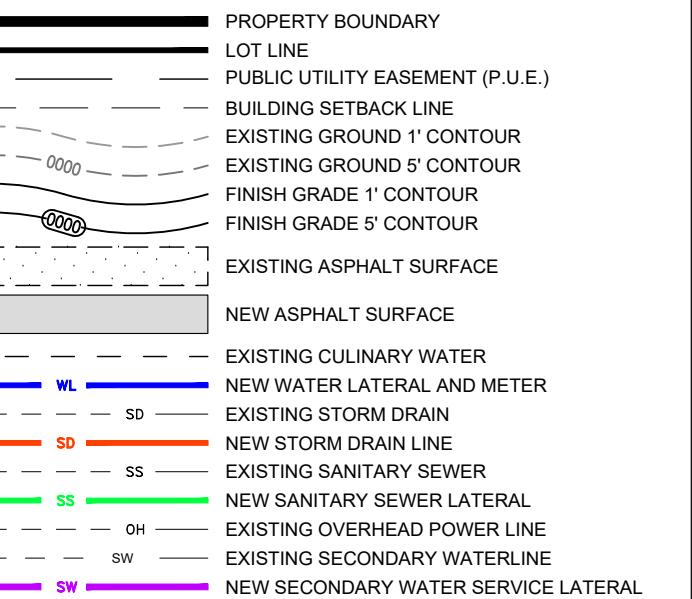
#### SITE PLAN KEY NOTES

- ① 30" STANDARD CURB AND GUTTER. (SEE DETAIL 1 ON SHEET DT2)
- ② 24" STANDARD CURB AND GUTTER. (SEE DETAIL 2 ON SHEET DT2)
- ③ 24" OPEN FACE CURB AND GUTTER. (SEE DETAIL 3 ON SHEET DT2)
- ④ 24" MOUNTABLE CURB AND GUTTER. (SEE DETAIL 4 ON SHEET DT2)
- ⑤ 5" WIDE CONCRETE SIDEWALK AS PER CITY STANDARDS
- ⑥ NEW ASPHALT PAVING. (SEE DETAIL 6 ON SHEET DT2)
- ⑦ THICKENED EDGE SIDEWALK. (SEE DETAIL 7 ON SHEET DT2)
- ⑧ NEW DRIVE APPROACH AS PER HARRISVILLE CITY STANDARDS. (SEE DETAIL 8 ON SHEET DT3)
- ⑨ TYPICAL PLEASANT VIEW CITY ADA RAMP WITH TRUNCATED DOME PATTERN AS PER ADA STANDARDS AND GUIDELINES (SEE DETAIL 9 ON SHEET DT3)
- ⑩ NEW ADA RAMP FROM PARKING LOT. (SEE DETAIL 10 ON SHEET DT2)
- ⑪ TYPICAL "NO PARKING" STRIPING (SEE DETAIL 11 ON SHEET DT2)
- ⑫ TYPICAL PARKING STRIPING TO BE 4" WHITE
- ⑬ TYPICAL ADA PARKING SYMBOL (SEE DETAIL 12 ON SHEET DT2)
- ⑭ TYPICAL DUMPSTER ENCLOSURE (SEE DETAIL 13 ON SHEET DT2)
- ⑮ ADA PARKING SIGN (SEE DETAIL 14 ON SHEET DT2)
- ⑯ SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PATCH AS PER HARRISVILLE CITY STANDARDS
- ⑰ INSTALL 6' HIGH VINYL FENCE WITH CONCRETE MOW STRIP
- ⑱ SAWCUT 12" OF EXISTING ASPHALT TO PROVIDE A CLEAN EDGE FOR INSTALLATION OF NEW ASPHALT

#### STANDARD SITE TABLE

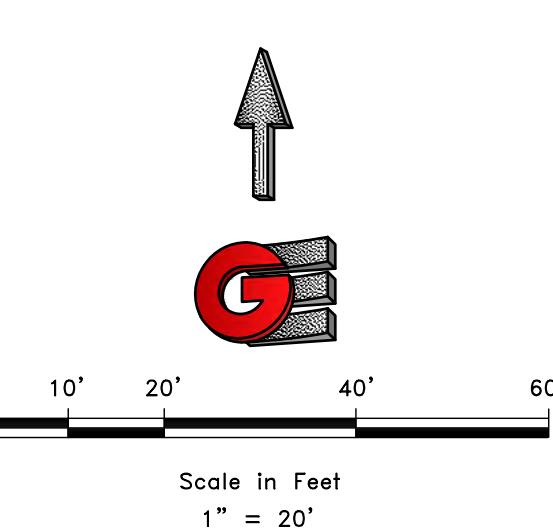
BUILDING	28,000.00	SQ. FT.	29.35%
ASPHALT PAVING	56,880.93	SQ. FT.	59.62%
LANDSCAPE	10,523.94	SQ. FT.	11.03%
TOTAL SITE AREA			95,404.87 SQ. FT. 100%
PARKING STALLS PROVIDED = 83 (INCLUDES 4 HANDICAP STALLS)			

#### LEGEND



#### SITE PLAN GENERAL NOTES

1. ACCESSIBLE ROUTES AND RAMPS TO BE INSTALLED PER "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" PUBLISHED BY THE U.S. DEPARTMENT OF JUSTICE (2010 STANDARDS).
2. STALLS DESIGNATED AS ADA WILL REQUIRE A PAINTED ADA SYMBOL AND SIGN.
3. ALL ACCESSIBLE DOORS REQUIRE A LEVEL LANDING. (REFER TO 2010 STANDARDS ADVISORY 205.7)
4. ACCESSIBLE ROUTE TO HAVE A MAX. SLOPE OF 5% AND A MAX. CROSS SLOPE OF 2% (REFER TO 2010 STANDARDS, 405)
5. MAXIMUM ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE OF THE PARKING SURFACE AND THE BOTTOM OF THE CONCRETE CURB RAMPS OR SIDEWALK HEIGHT SHALL NOT EXCEED  $\frac{1}{4}$ " VERTICAL OR  $\frac{1}{2}$ " WHEN BEVELED. (REFER TO 2010 STANDARDS, 302)
6. SEE ELECTRICAL SITE PLAN FOR PROPOSED SITE LIGHTING AND CONDUITS.
7. NEW GAS LINES, TELEPHONE LINES AND CABLE TV LINES ARE NOT A PART OF THE CIVIL PLANS.
8. SAFETY FENCE SHALL BE MAINTAINED THROUGHOUT THE SITE AS NEEDED TO KEEP PEDESTRIAN TRAFFIC FROM CONSTRUCTION ACTIVITY.
9. ALL DIMENSIONS ARE TO THE TOP BACK OF CURB AND TO THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
10. ROAD RESTORATION AFTER UTILITY INSTALLATION SHALL BE COORDINATED WITH WASHINGTON THE CITY PRIOR TO COMPLETING WORK.



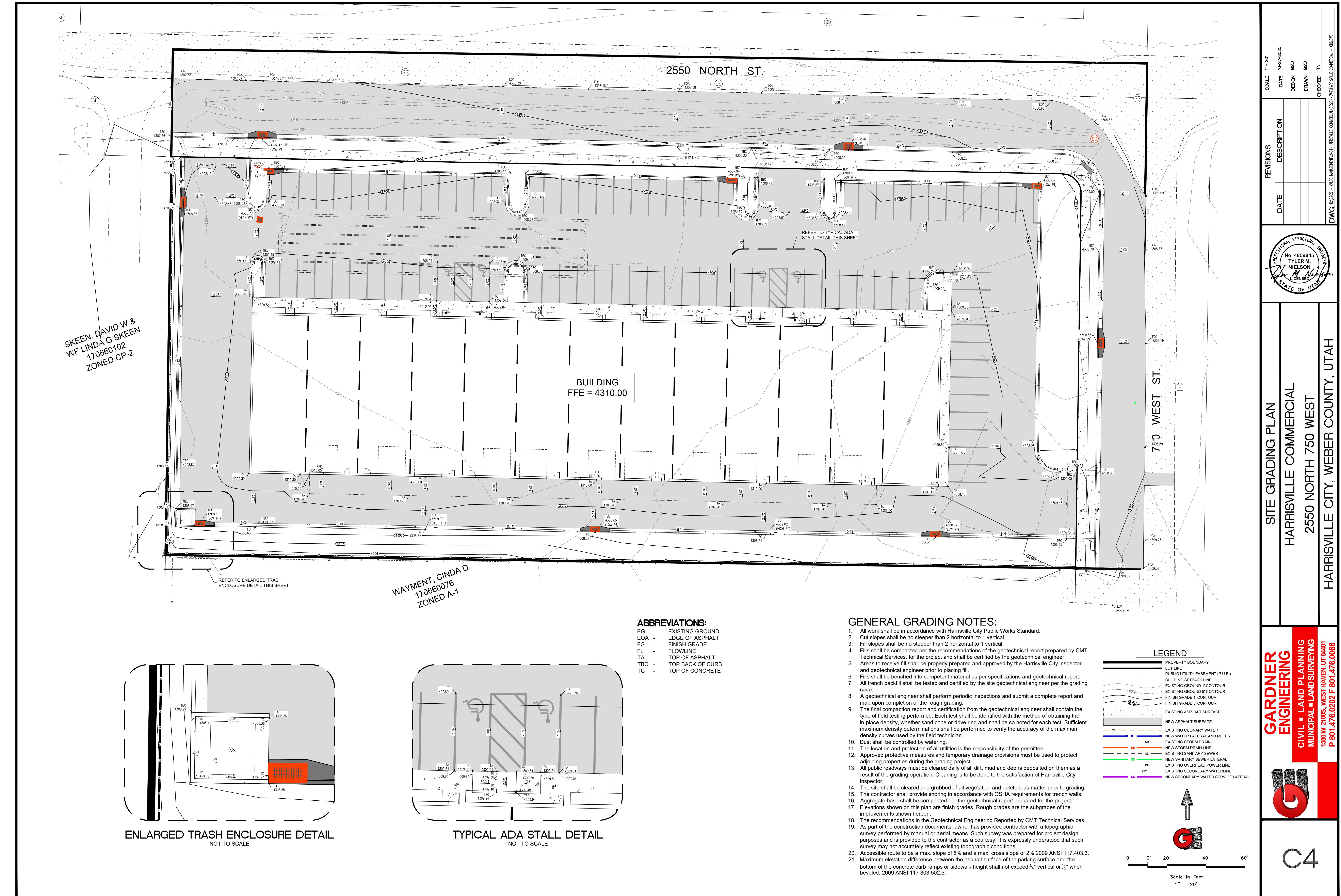
**GARDNER**  
**ENGINEERING**

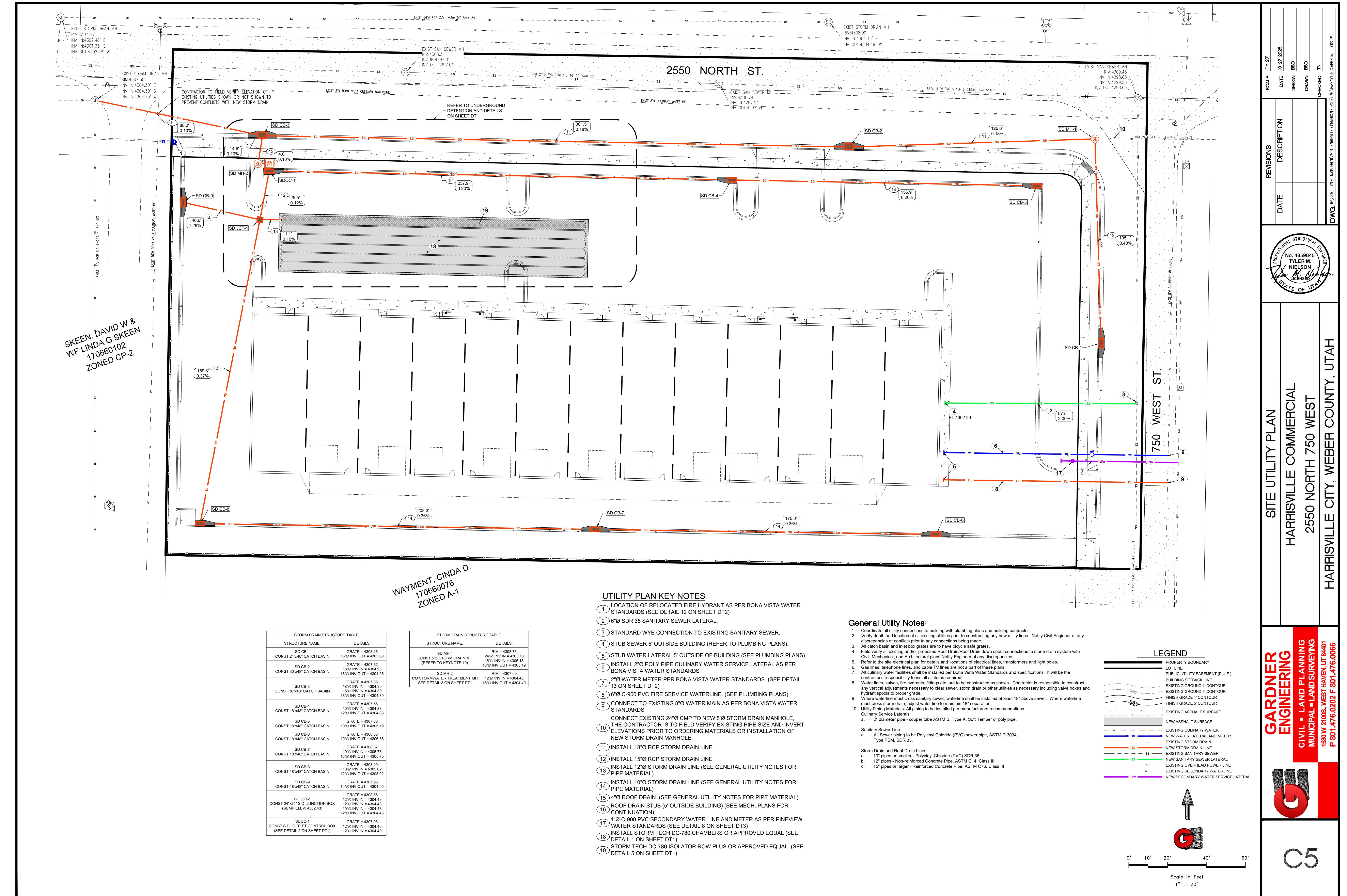
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MUNICIPAL • LAND SURVEYING

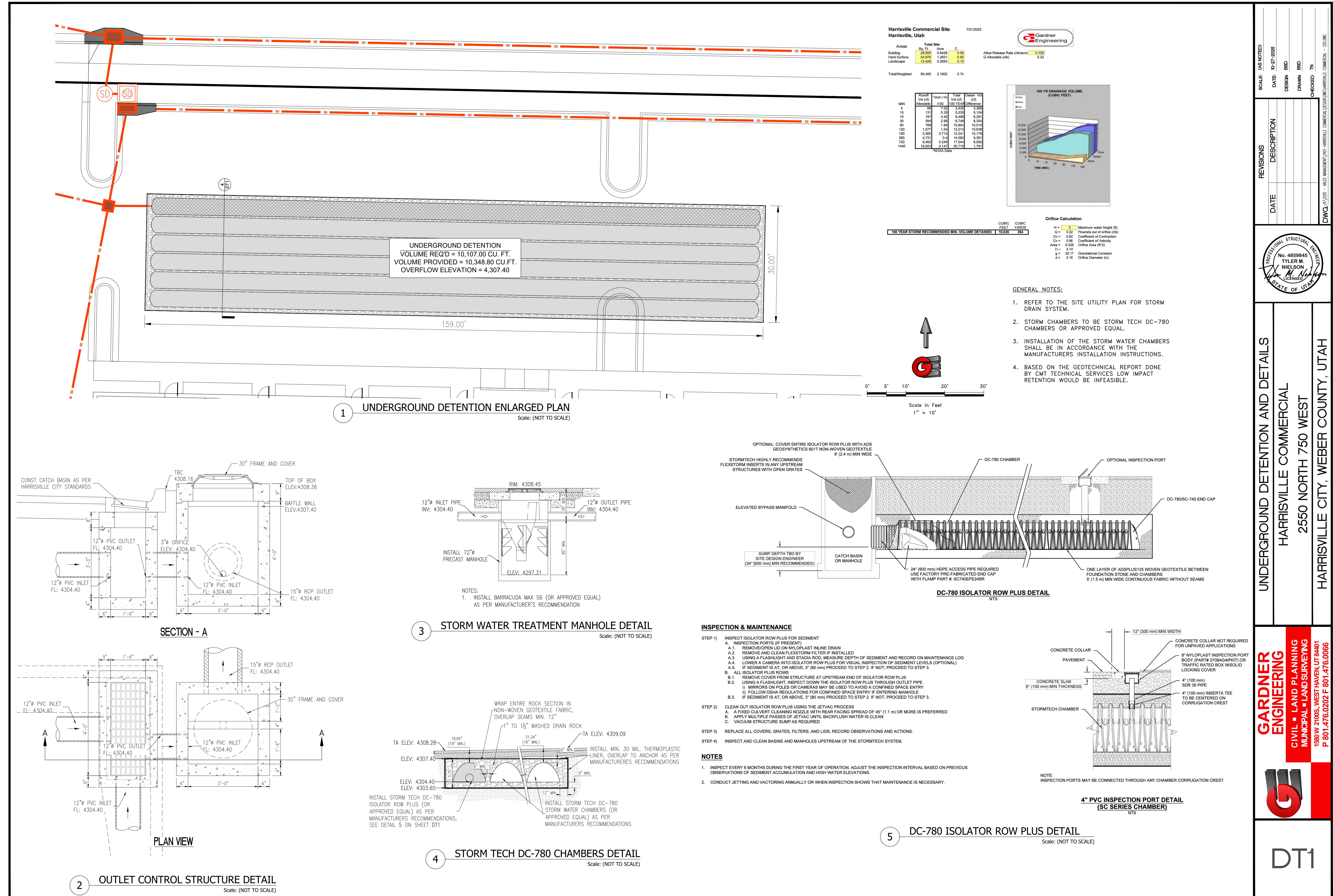
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P 801.476.0222 F 801.476.0036

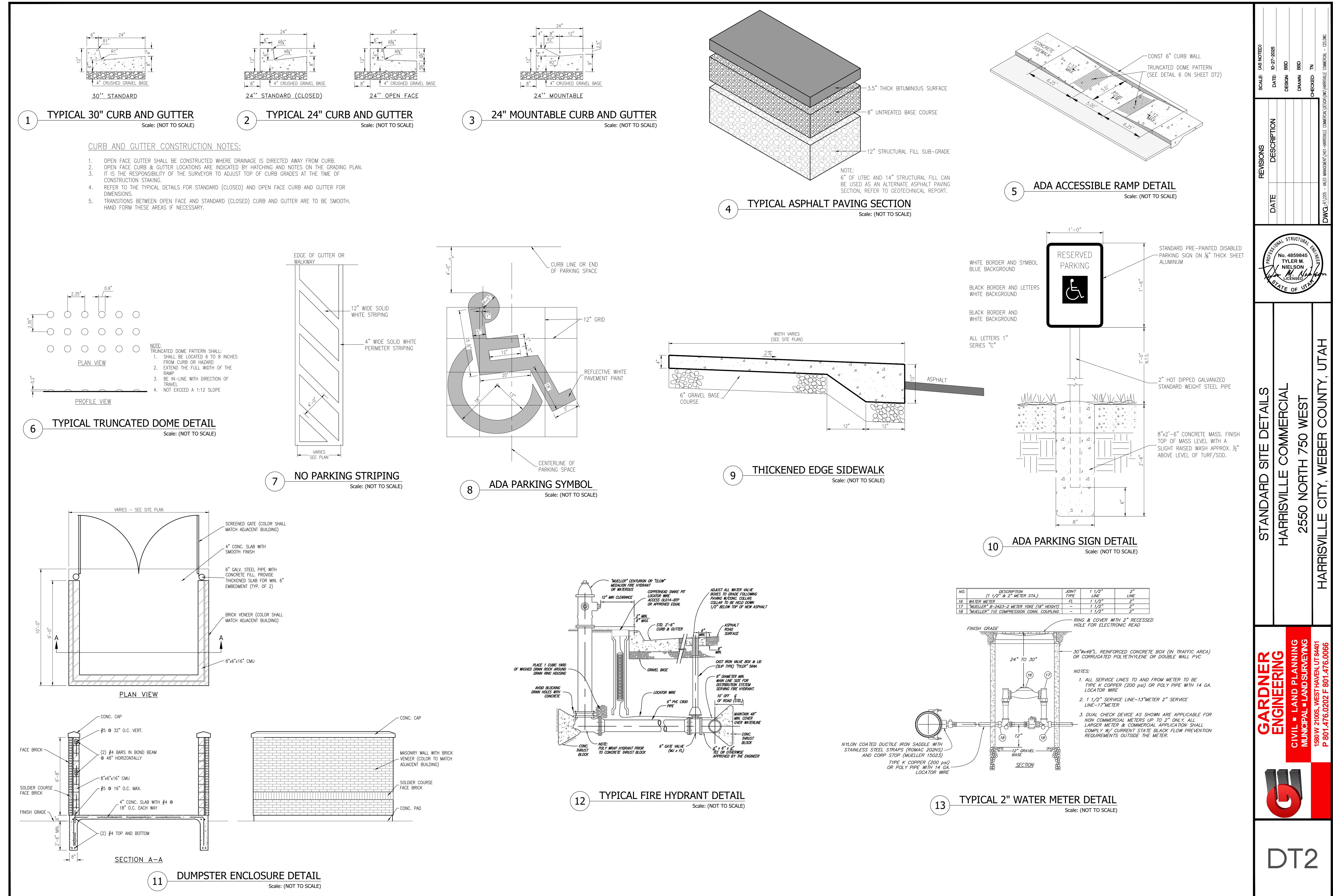
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C3

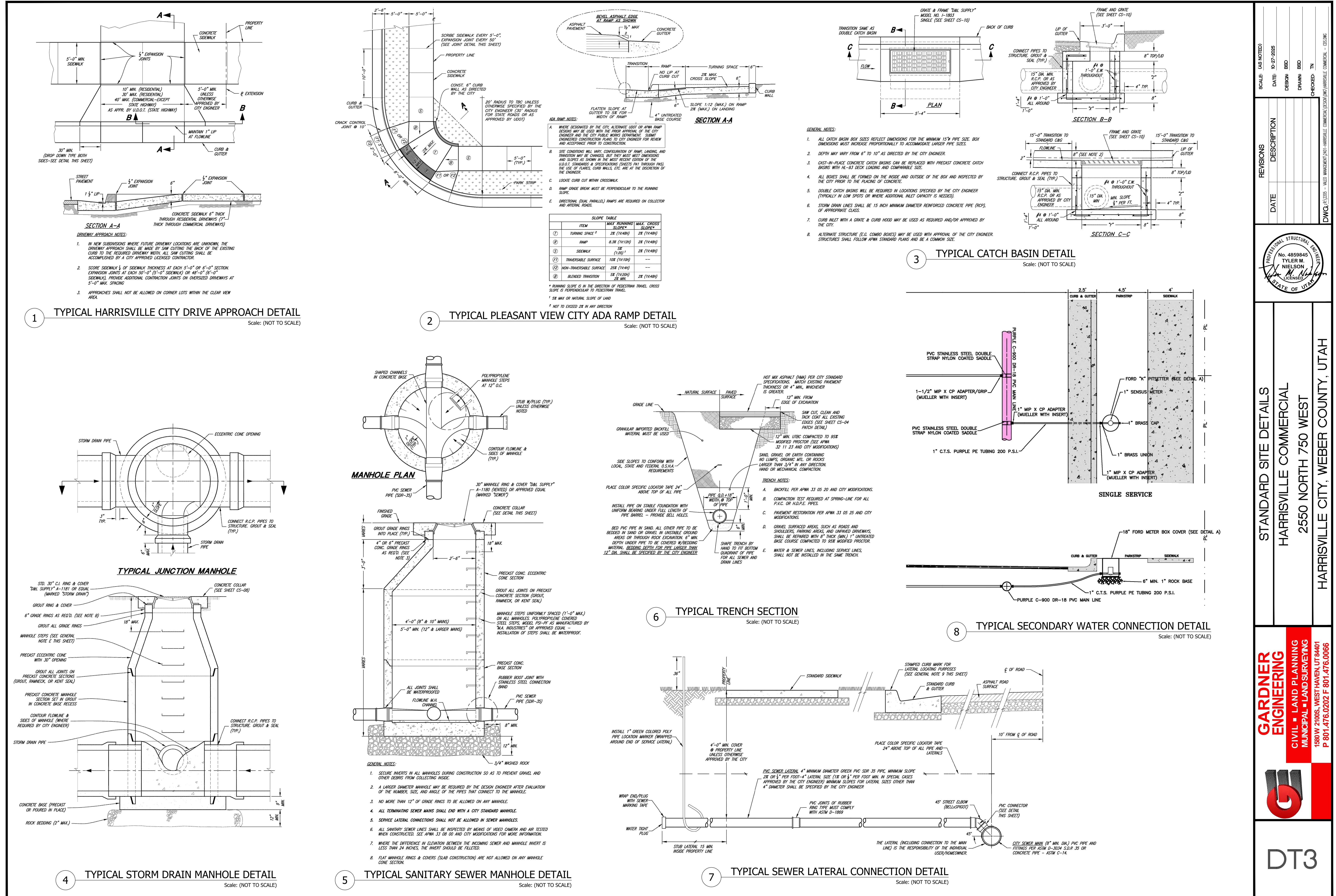
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DATE 12-27-2025  
DESIGN B&D  
DRAWN B&D  
CHECKED TN





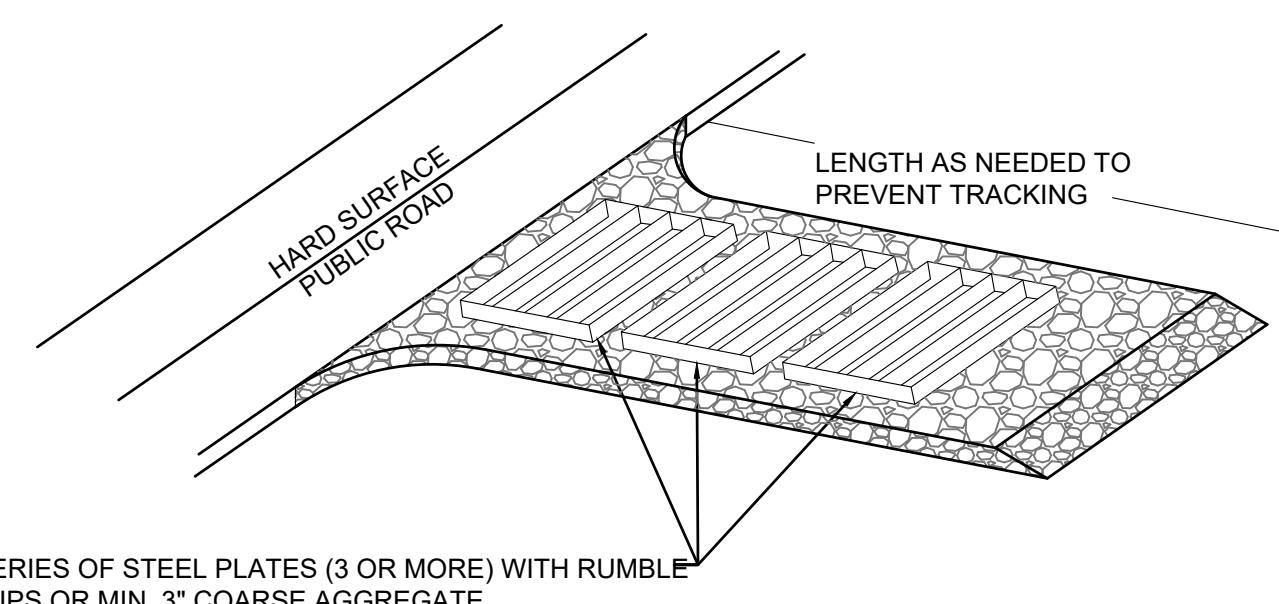






#### EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

#### ENTRANCE STABILIZATION NOTES:

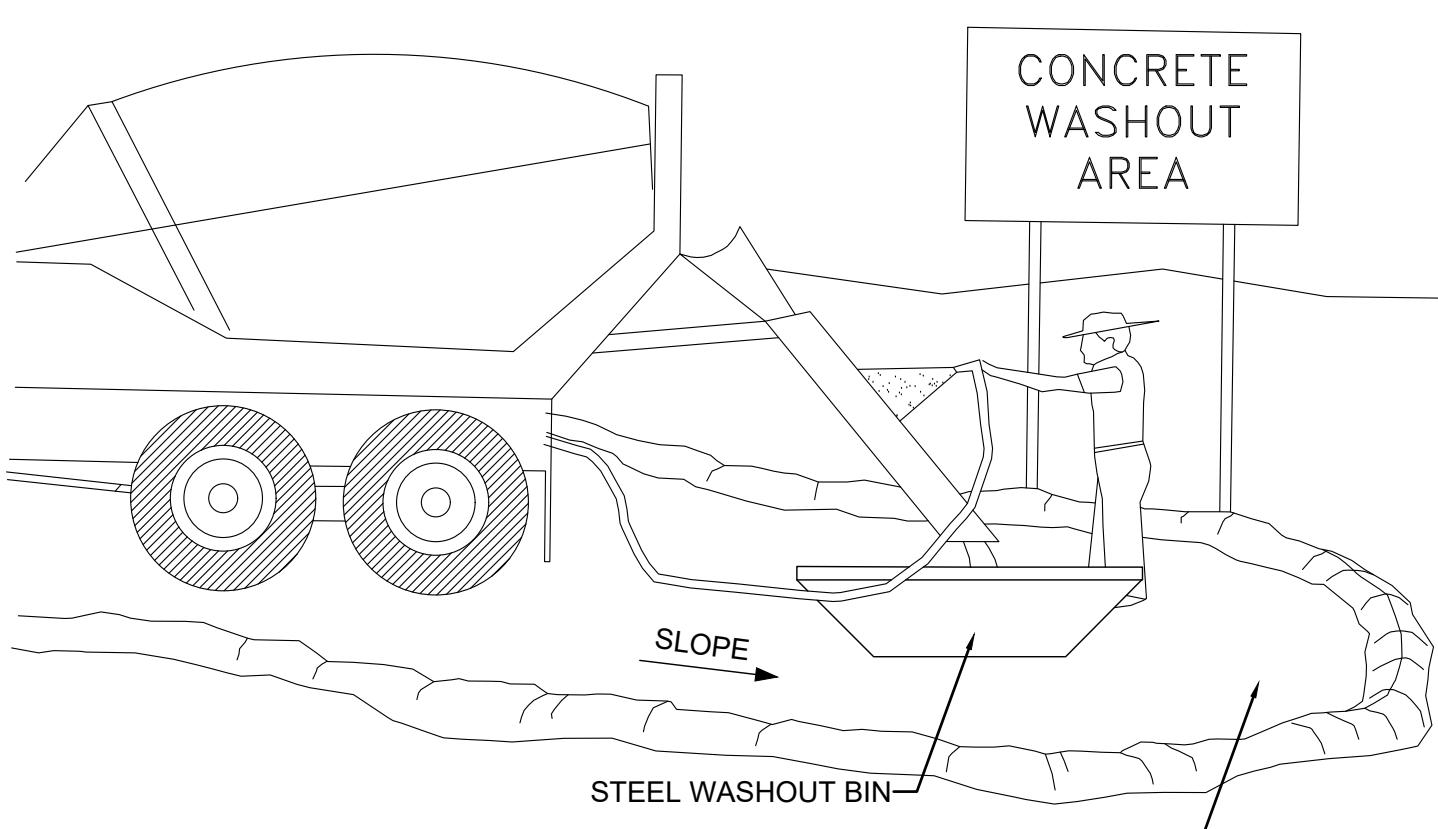
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
  - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALKS OR PARKING AREA.
  - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

#### STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

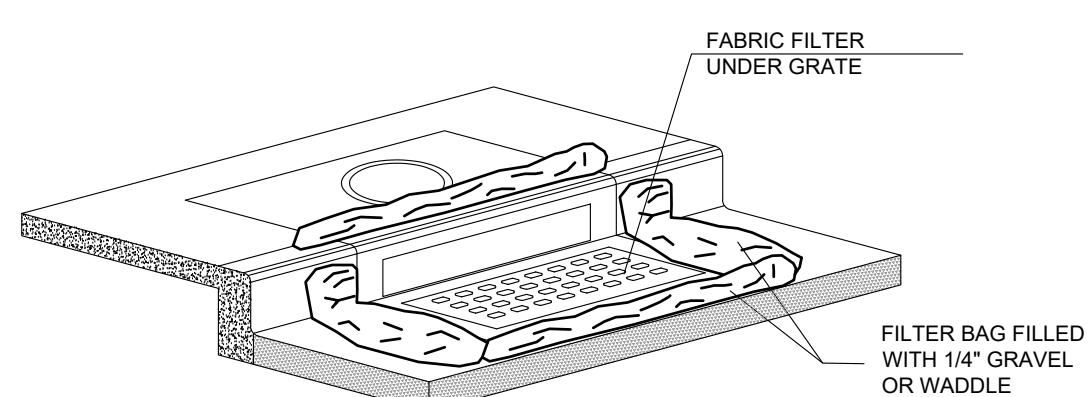
#### NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET



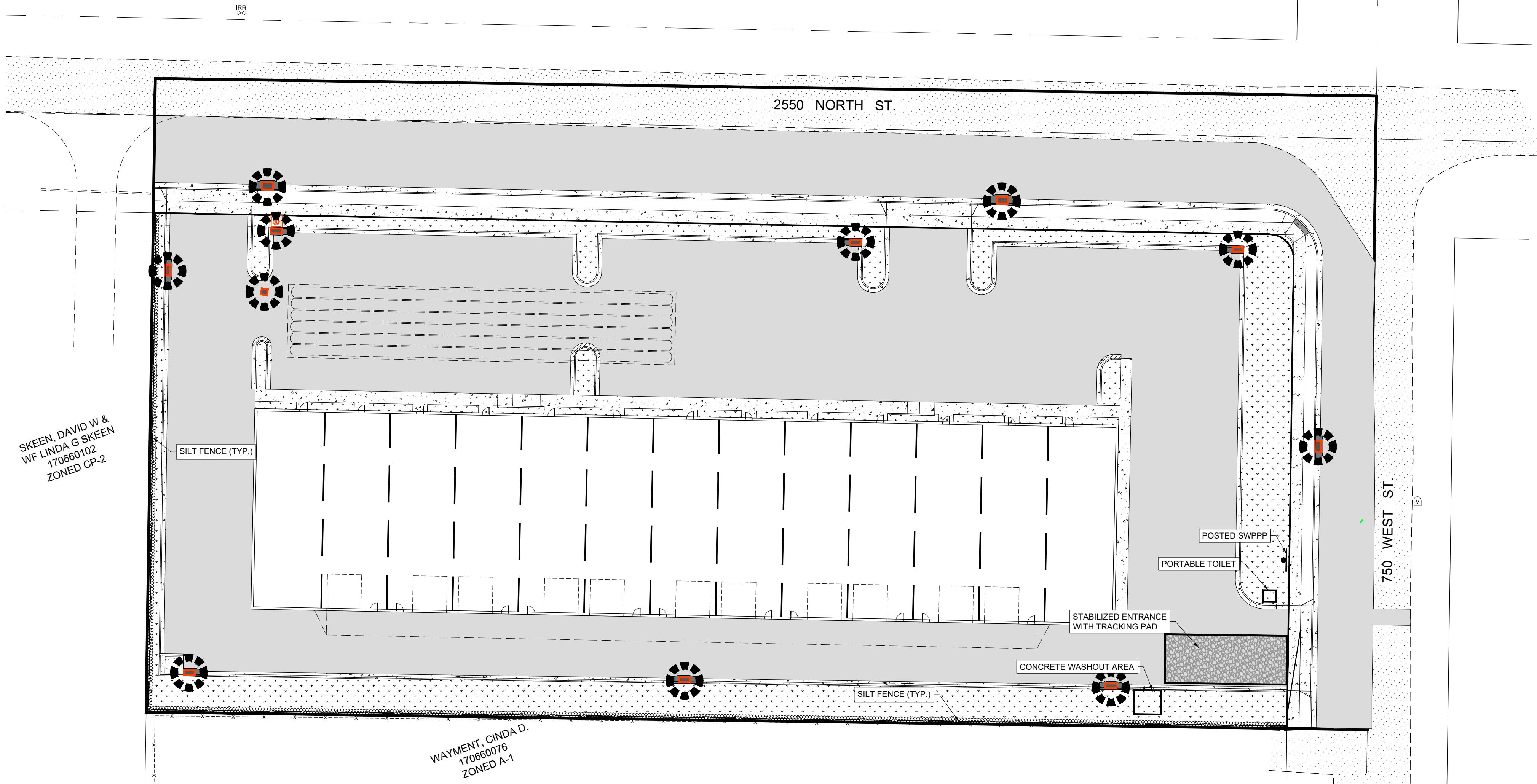
#### NOTES:

1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING HAL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

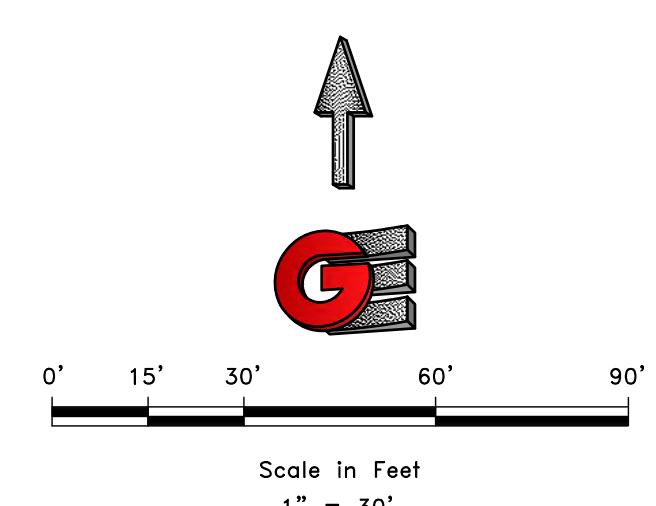


1B INLET PROTECTION - OPTION 2

Scale: NTS



#### LEGEND

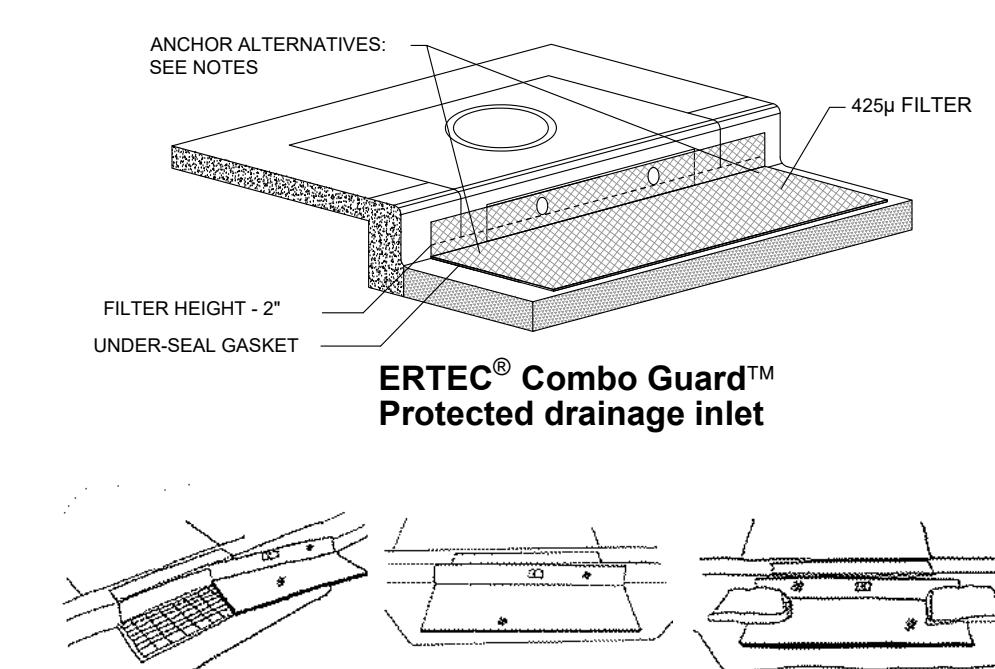


Scale in Feet

1" = 30'

INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES, CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.

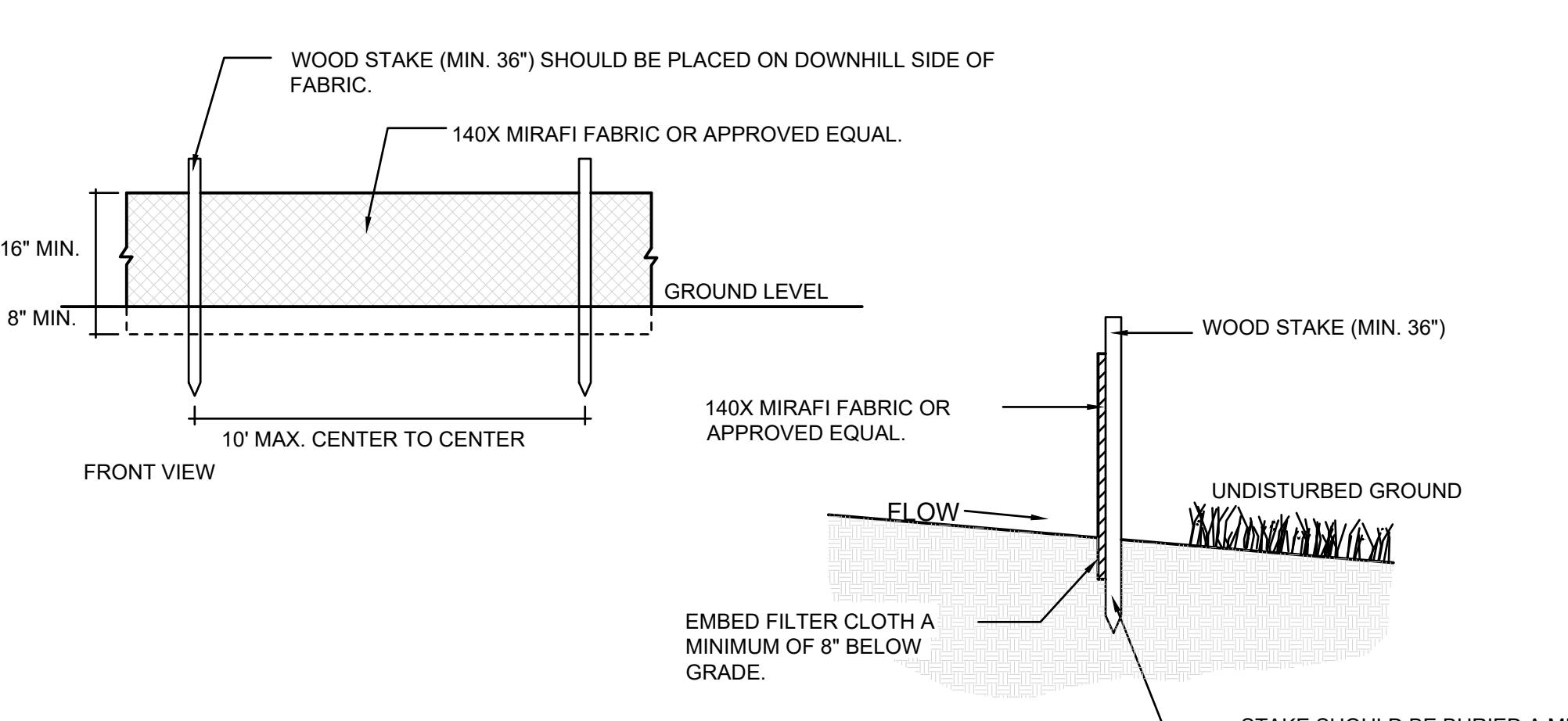


1A INLET PROTECTION - OPTION 1

Scale: NTS

2 SILT FENCE

Scale: NTS



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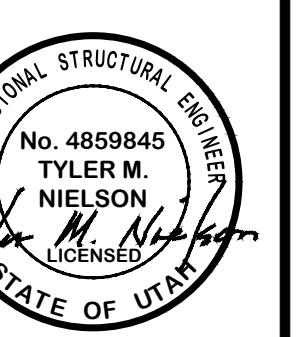
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P 801.476.0202 F 801.476.0066

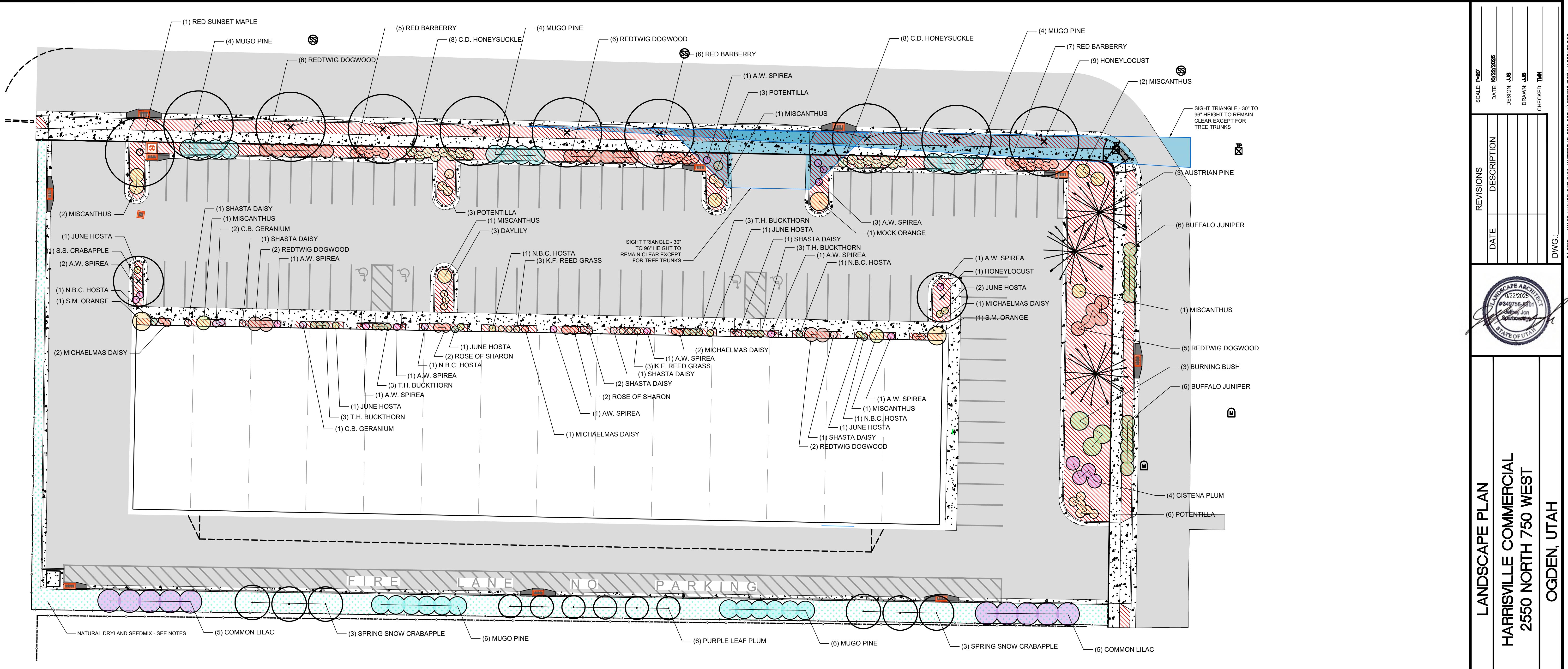
**GC**

**EC1**

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DATE	12-27-2025
DESIGN	BED
DRAWN	BED
CHECKED	TN

DWG: R-2025 2550 NORTH 750 WEST HARRISVILLE COMMERCIAL





## LANDSCAPE NOTES:

1. Landscape Contractor to coordinate with General Contractor limits of work and schedule of irrigation and plant material installation.
2. The base plans on these drawings have been plotted from the best available information, however, it is the Landscape Contractor's responsibility to field verify all material locations and quantities and Notify Owner's Representative of any discrepancies found.
3. Plant material may be relocated/removed relative to final signage design and layout.
4. Do not install plant material in freezing conditions or over frozen sub-grades.
5. The landscape contractor shall be responsible for obtaining all licenses and permits necessary for Completion of construction.
6. Only approved nursery grown material shall be used.
7. Landscape contractor shall be responsible for locating and avoiding any and all underground Utilities and shall repair them if damaged by landscaping operations.
8. All planting beds shall have 3" min. depth of 2" to 4" River Rock over weed barrier fabric.
9. Soil preparation for Hydroseed: Provide 4" min. Stock-piled Topsoil, free of existing vegetation and apply hydroseed per manufacturer's requirements.
10. For a period of (1) year after substantial completion of the project and at no additional cost to the Owner, the landscape contractor shall replace all plant material that is dead, or that is, in the opinion of the owner's representative, unhealthy, or in unsatisfactory condition.
11. Stake and guy all trees as shown on details.
12. Any plant substitutions are to be approved in writing by Owner's Representative prior to installation.
13. Natural Dryland Seed Mix, (as shown below), shall be broadcast where specified, during one of the seeding windows, September-November, or February-April.

Natural Dryland Seed Mix  
Streambank wheatgrass (*Elymus lanceolatus* ssp. *psammophilus*) - 10 lbs. of live seed/Ac  
Mountain Brome (*Bromus marginatus*) - 20 lbs. of live seed/Ac.  
Western wheatgrass (*Pascopyrum smithii*) - 10 lbs. of live seed/Ac.  
Sheep fescue (*Festuca ovina*) - 2.5 lbs. of live seed/Ac.  
Lewis blue flax (*Linum lewisii*) - 2.5 lbs. of live seed/Ac.  
TOTAL - 45 lbs. of live seed/Ac.

## PLANTING SCHEDULE

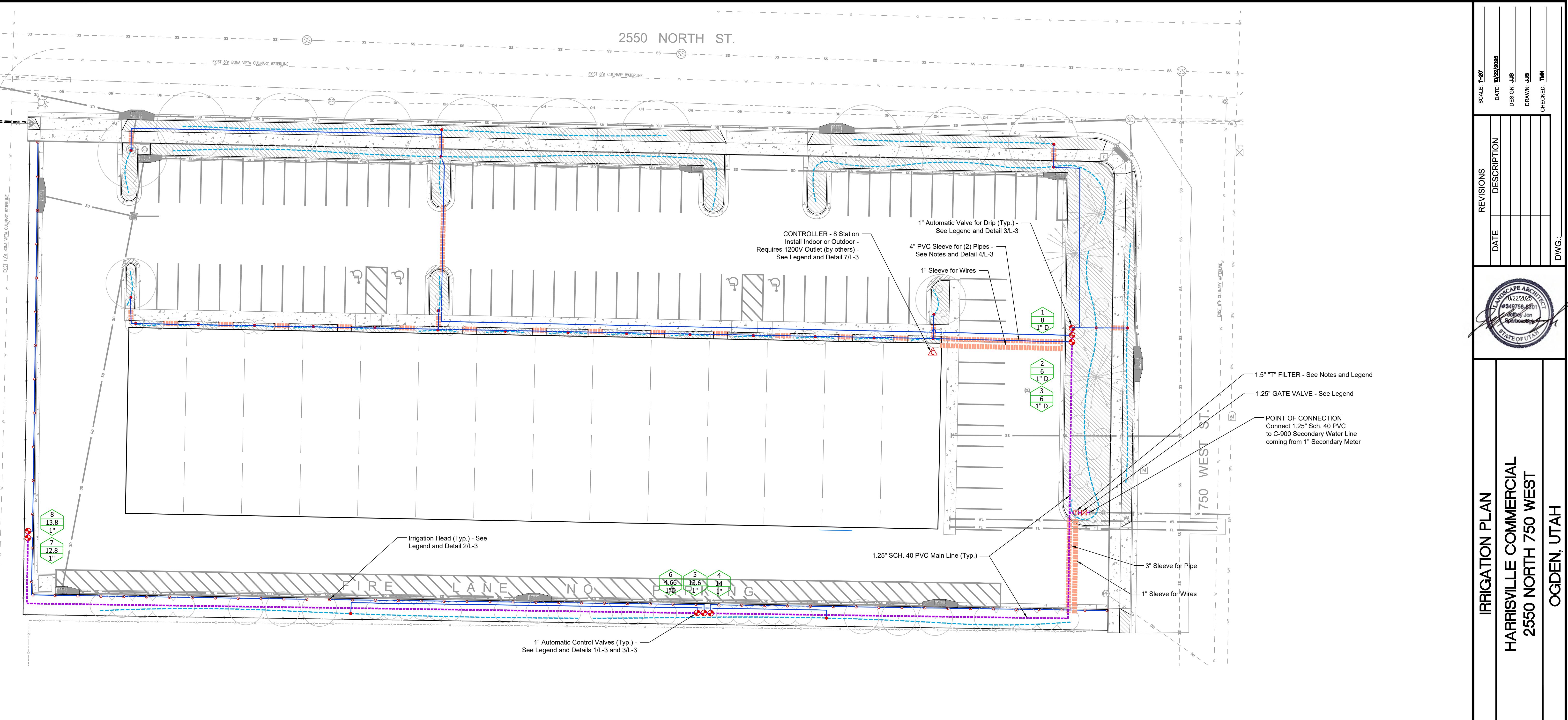
SHRUBS				TREES			
	BOTANICAL NAME	COMMON NAME	SIZE	TYPE		BOTANICAL NAME	COMMON NAME
	<i>Beberis thunbergii Atropurpurea</i>	Japanese Red Barberry	5 Gal.	Shrub		<i>Gleditsia triacanthos inermis</i>	Honeylocust
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	5 Gal.	Grass		<i>Malus sp. 'Spring Snow'</i>	'Spring Snow' Crabapple
	<i>Cornus sericea 'Insant'</i>	Insanti Redtwig Dogwood	5 Gal.	Shrub		<i>Pinus nigra</i>	Austrian Pine
	<i>Euonymus alatus 'Velvet Blazer'</i>	Burning Bush	5 Gal.	Shrub		<i>Acer Rubrum 'Red Sunset'</i>	Red Sunset Maple
	<i>Geranium sanguineum</i>	Cranesbill Geranium	1 Gal.	Perennial			
	<i>Hemerocallis 'Stella D' Oro'</i>	Daylily	1 Gal.	Perennial			
	<i>Hibiscus syriacus</i>	Rose of Sharon	5 Gal.	Shrub			
	<i>Hosta 'Elegans'</i>	June Hosta	1 Gal.	Perennial		3" depth min. 2" to 4" River Rock Mulch over weed barrier fabric	
	<i>Hosta 'Night Before Christmas'</i>	N.B.C. Hosta	1 Gal.	Perennial		Natural Dryland Seedmix	
	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	5 Gal.	Shrub			
	<i>Leucanthemum superbum</i>	Shasta Daisy	1 Gal.	Perennial			
	<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Grass	5 Gal.	Shrub			
	<i>Phedelphus x virginalis</i>	Mock Orange	5 Gal.	Shrub			
	<i>Pinus mugo 'Pumilio'</i>	Dwarf Mugo Pine	5 Gal.	Shrub			
	<i>Potentilla fruticosa 'Gold Drop'</i>	Gold Drop Potentilla	5 Gal.	Shrub			
	<i>Prunus x cistena</i>	Cistena Plum	5 Gal.	Shrub			
	<i>Rhamnus frangula Columnaris</i>	Tall Hedge Buckthorn	5 Gal.	Shrub			
	<i>Spirea x bumalda 'Anthony Waterer'</i>	Anthony Waterer Spirea	5 Gal.	Shrub			
	<i>Symphytum novi-belgii 'Royal Ruby'</i>	Michaelmas Daisy	1 Gal.	Perennial			
	<i>Syringa vulgaris</i>	Common Lilac	5 Gal.	Shrub			

DEVELOPER:  
JULI SATTERTHWAITE  
VIDEO MANAGEMENT  
391-1345

# GARDNER ENGINEERING

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L-1



**GARDNER**  
**ENGINEERING**  
CIVIL • LAND PLANNING  
MUNICIPAL • LAND SURVEYING



DEVELOPER:  
CECIL SATTERTHWAITE  
VELEO MANAGEMENT  
801 391-1345

L-2

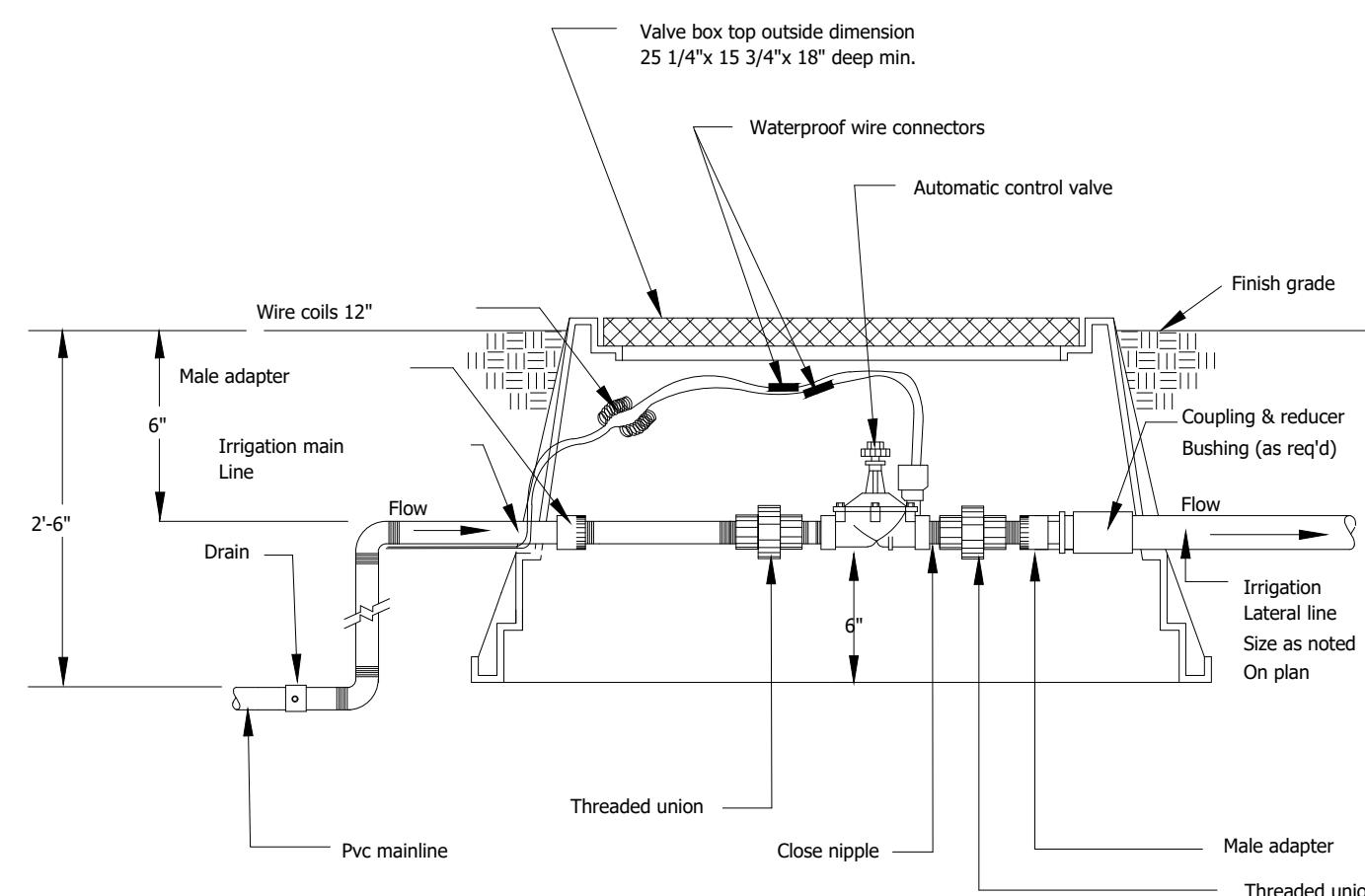
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REVISIONS	DESCRIPTION
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DWG.:	

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6/21/2025  
#349756-5501  
Geoffrey Jon  
State of Utah

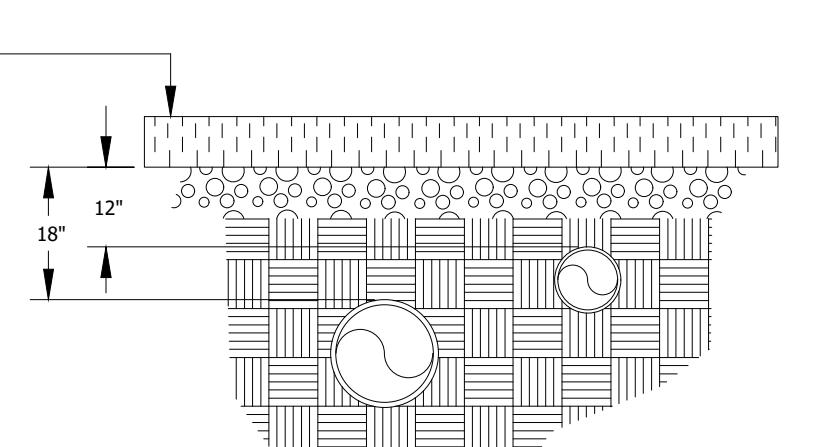
**HARRISVILLE COMMERCIAL**  
2550 NORTH 750 WEST  
OGDEN, UTAH



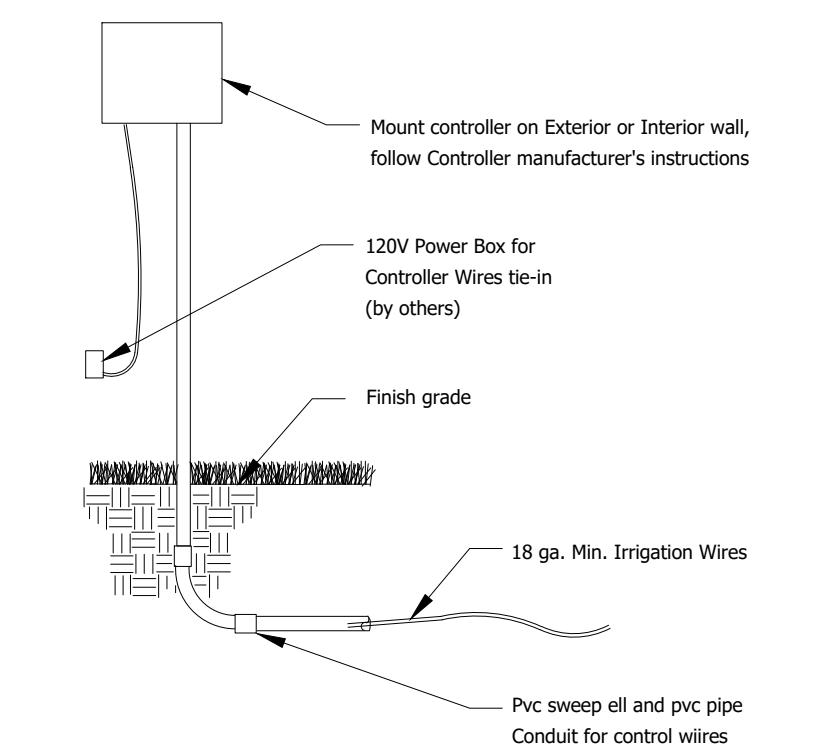
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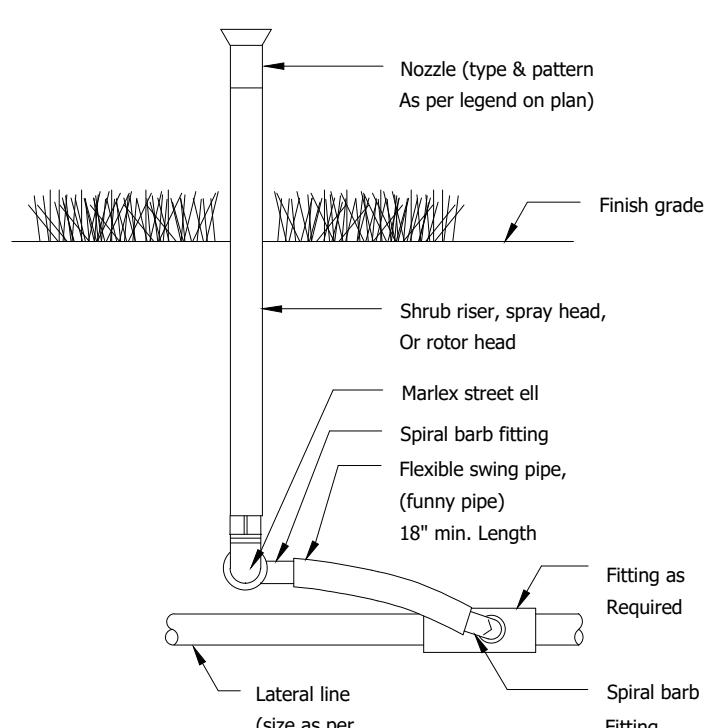
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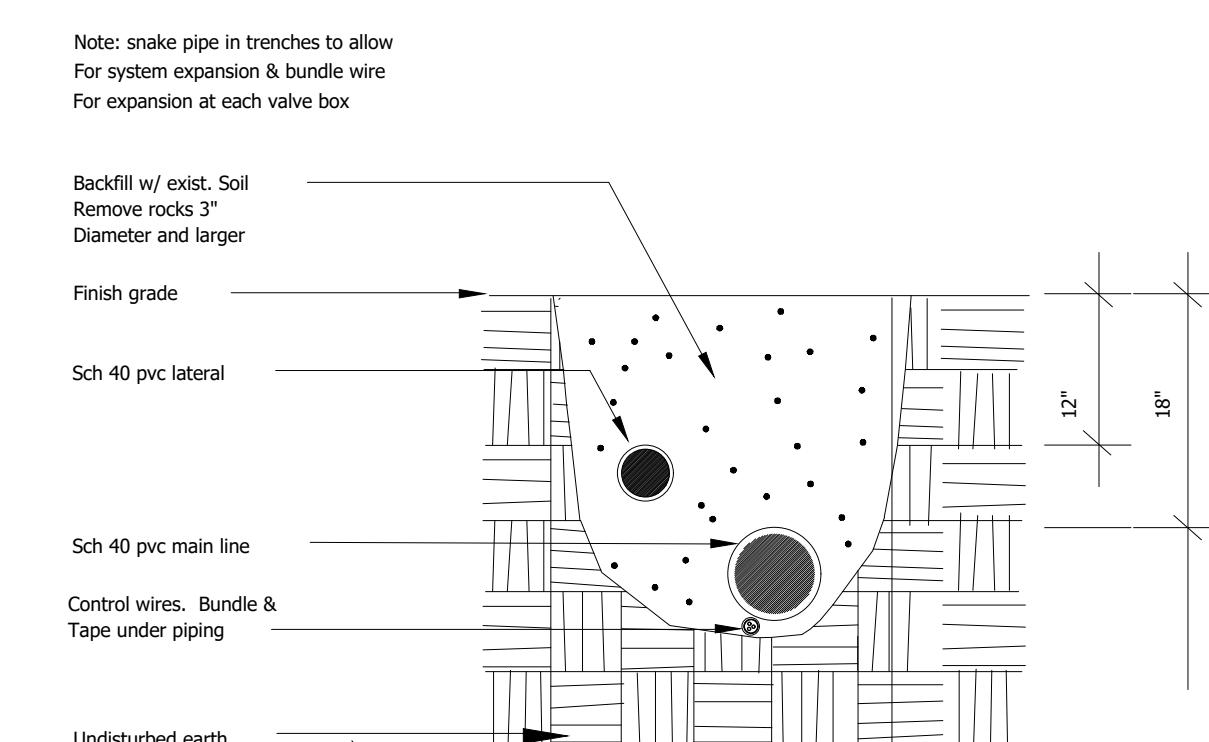
4 SLEEVING DIAGRAM



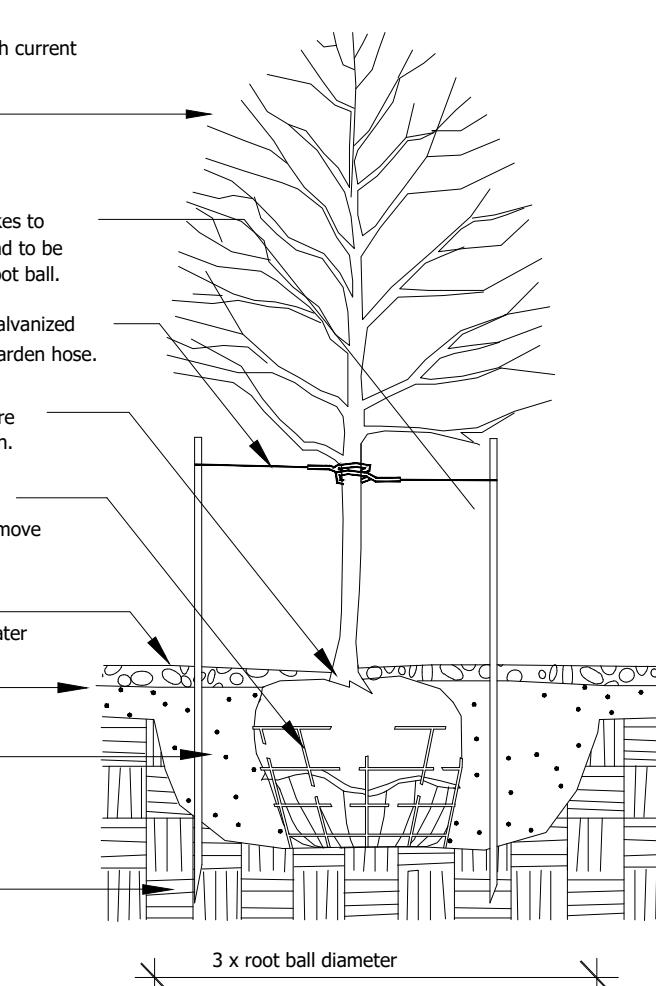
7 ELECTRIC CONTROLLER



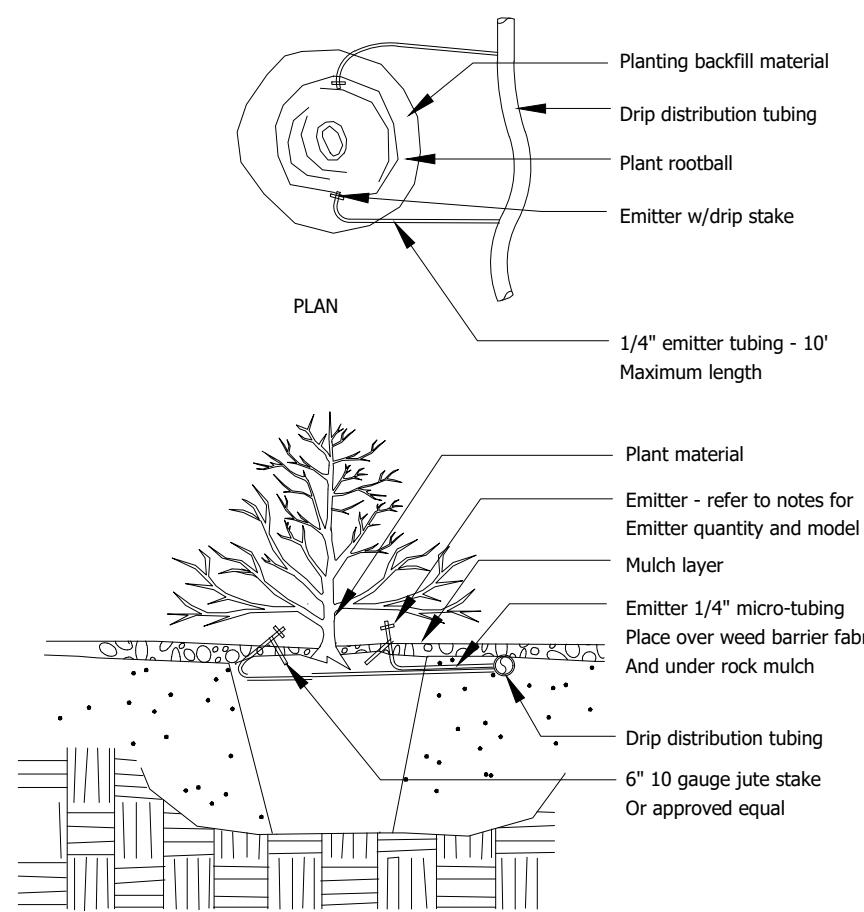
2 IRRIGATION HEAD ASSEMBLY



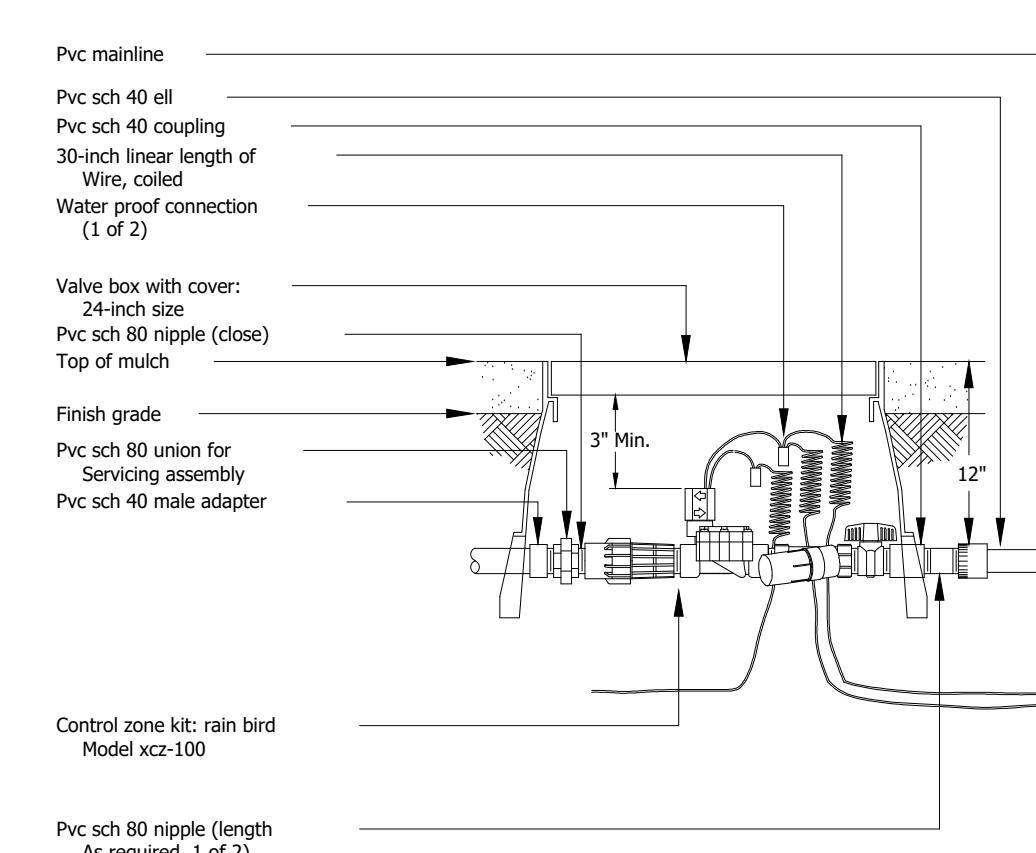
5 TRENCHING & WIRING DIAGRAM



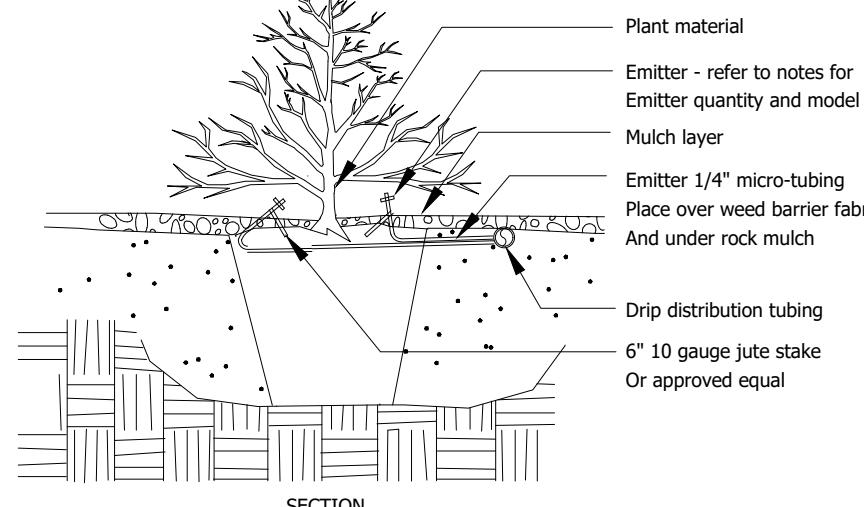
8 TREE PLANTING



6 DRIP EMMITTER DETAIL



3 DRIP VALVE ASSEMBLY



9 SHRUB PLANTING

DEVELOPER:  
CECIL SATTERTHWAITE  
VELEO MANAGEMENT  
801 391-1345



November 4, 2025  
Harrisville City Planning  
Re: Harrisville Commercial  
Parcel# 17-066-0011

To Whom It May Concern:

We have reviewed the plans for the Harrisville Commercial Project. Approx: 2535 N 750 W, Harrisville, Utah. This property is not currently part of the secondary water district. The owner of this property will need to complete the inclusion process, which includes obtaining approval of our board of directors, paying any required fees and providing water shares to bring the property into the water district. This will serve will also be contingent on the owner building and installing any needed infrastructure, in accordance with Weber Box Elder Conservation District's specifications. We will serve this development after the inclusion requirements have been met, all fees have been paid, and construction has been completed.

Please contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "Brooke Harris". The signature is fluid and cursive, with "Brooke" on the top line and "Harris" on the bottom line.

Brooke Harris  
[bharris@pineviewwater.com](mailto:bharris@pineviewwater.com)  
Assessment Clerk  
801-622-4355



# WEBER-BOX ELDER™ CONSERVATION DISTRICT

471 West 2nd Street Ogden, UT 84404

Phone: (801) 621-6555

## Receipt

Date: 11/6/2025 Phone Number: 801-391-1345

Received From:

For:

Unit: 1

Subdivision Name: Harrisville Commercial

Lot Number:

Address: Approx: 2550 N 750 W, Ogden, Utah

Parcel Number: 17-066-0011

Water Number:

Acres:

Check/Cash: Check Check #: 1077

Connection Fee:	\$400.00
Impact Fee:	\$3,338.87
Inclusion Fee:	\$219.00

**Total Amount Received: \$3,957.87**

Payer hereby requests the Weber-Box Elder Conservation District make a new connection to its distribution system for property owner's use. Property owner will maintain the master valve at their expense and agrees to abide by the rules and regulations of the Conservation District. A copy of the rules and regulations can be found at pineviewwater.com. The Weber-Box Elder Conservation District acknowledges receipt of the connection fee and/or other fees associated with this permit as listed on the above receipt.

000016609

Customer Copy



# HARRISVILLE CITY

363 W. Independence Blvd Harrisville, Utah 84404 801.782.4100  
www.cityofharrisville.com

PLANNING  
COMMISSION

Angie Francom  
Chad Holbrook  
Isaac Thomas  
Christina Palmer

## Staff Report

Conditional Use Permit Application  
Home Occupation  
November 12, 2025

### Application Information

Agenda Date: November 12, 2025  
Applicant: La Toria Gipson  
Application Date: October 28, 2025  
Application Request: Applicant is requesting a Conditional Use Permit to consider a Home Occupation at approximately 207 West 2150 North in the Residential Zone RE-15

### Property Information

Approximate Address: 364 West 1125 North, Harrisville, Utah  
Current Zoning: RE-15

### Overview:

Harrisville City has received a conditional use permit application for a Home Occupation to operate a training facility. In accordance with Harrisville Municipal Code §11.10.020(9) a conditional use permit is required for a Home Occupation to be located in the Residential RE-15 Zone.

### Analysis:

#### Comments/Recommendations in Bold

##### HCMC §11.18.050 Basis For Issuance Of Conditional Use Permit

The planning commission shall not authorize a conditional use permit unless evidence is presented to establish:

1. That such use will not, at the particular location be detrimental to the health, safety, and general welfare of persons nor injurious to property or improvements of the surrounding land uses or community, but will be compatible with the existing surrounding uses, buildings, and structures. In determining compatibility and mitigation of detrimental effects, the planning commission shall consider:

1. The location of parking lots, access ways, delivery areas and on site vehicle circulation patterns created by the site design and their relationship to adjoining uses and whether or not such site design adversely impacts the surrounding uses by exposing them to loss of privacy, objectionable views of large paved or graveled areas or loading and unloading areas and whether or not there are design considerations or property improvements that can mitigate these impacts; **Site Plan of the property will not be changed.**
2. The location of the use does not create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected with the development of a permitted use. In determining unusual patterns the planning commission shall consider:
  1. the orientation of driveways and if they direct traffic to the major streets or the local streets and if directed to the local streets the impact it creates to the safety, purpose and character of the local street; **Driveways for the property will not be changed.**
  2. parking locations and size and if they encourage street side parking and walking to the proposed use which impacts adjacent land uses; and

**To limit the impact on surrounding properties, it is recommended that all clients use off-street parking that complies with the requirements of HCMC § 11.09.040 Parking Regulations .**

3. hours of peak land use creating traffic volumes at times of the day or night that would impact the surrounding uses.

**To avoid increased traffic circulation in the area, it is recommended that a limit on the number of clients present at any one time is established.**
3. The design of the building or buildings and the exterior building materials proposed to be used on the building and if the design and materials are similar in visual qualities such as, but not limited to, roof line shapes, building material color, reflectivity, and other visual qualities in order to ensure that the building design is not out of character with the surrounding area or creates a visual nuisance that impacts adjacent properties; **The exterior of the building will remain the same. No structural improvements.**
4. The hours of operation of the proposed use when compared with the hours of activity of the surrounding uses and the potential of such hours of operation to create noise, light or other nuisances not acceptable to the enjoyment of the existing surrounding uses or common to the surrounding uses; **The hours of operation are limited to 7am to 10 pm in the regulations for home occupations in residential zones HCMC §11.10.020(9).**
5. The location and size of outdoor storage areas and their relationship to adjacent land uses and if such storage creates adverse impacts to the surrounding uses in terms of visual appearance, noise, dust, odor, fire potential or hazardous material storage and the safe distances or other measures taken to screen or absorb the impacts on the proposed site; and **No outdoor storage is proposed.**

6. The location of exterior lighting and signage will not be directed to or impact adjacent residential uses. **Training facility is indoors and should not increase light to adjacent properties.**
2. That the proposed use will comply with the land use regulations specified in this Ordinance for such use in the specific zone the use is proposed in; **Training Facility must follow regulations for home occupations in residential zones HCMC §11.10.020(9).**
3. That the proposed location does not have any unresolved actual or alleged violations of the municipal code. **No violations are known at this time.**
4. That the proposed use conforms to the goals, policies and governing principles and land use of the Master Plan for Harrisville City. **If recommendations are followed, the proposed home occupation should not interfere with the surrounding uses.**
5. That the proposed use will not lead to the deterioration of the environment by emitting pollutants to the ground or air of such a type or of such a quantity so as to detrimentally effect, public or private property including the operation of existing uses thereon, in the immediate vicinity or the community or area as a whole. **No emissions are anticipated from the training facility.**

To operate a home occupation in the city of Harrisville, the following Special Regulations apply:

HCMC §11.10.020(9) Special Regulations (For Conditional Use Permit in Residential Zone)

Home occupation. A home occupation is the use of a portion of a single family dwelling, and/or accessory building, for a business, office, daycare, preschool, personal services such as hair care, common trade, or crafts. The following conditions shall be met in order to obtain a home occupation:

1. Any home occupation with visiting clientele requires a conditional use permit.
2. The employees at a home occupation site are limited to those who reside at the dwelling where the home occupation occurs with the exception of a preschool and deliveries.
3. The dwelling is the primary residence and no more than twenty-five (25%) percent of the floor space of the dwelling is devoted solely to the home occupation, excepting daycare.
4. There is no outdoor storage of any materials.
5. There is no vehicle or trailer repair or body work of any kind and no parking or placement of vehicles which are being repaired.
6. All work of the home occupation occurs in an enclosed structure.
7. There is no wholesale or retail sales of products, actual product display or warehousing of product directly from the home or accessory building except those items that are created on the property or from a common trade or craft.
8. No offensive noise, vibration, smoke, dust, odor, heat, or glare shall be produced, and activities shall not include any activities which create a nuisance or hazard.

9. The home occupation is limited to hours of operation between 7 a.m. and 10 p.m.
10. Daycare is limited to a maximum of eight (8) children at anyone time who do not live in the dwelling between the hours of 6 a.m. and 10 p.m.
11. Preschool in a residence that operates four (4) or less hours per day, per session, up to two (2) sessions per day, and teaches more than nine (9) children, but not more than fourteen (14) children, plus supervisory personnel. The preschool area of the home shall also conform to the applicable standards of any building code.
12. All home occupations shall comply with all acceptable State codes and licensing requirements as well as have a home occupation business license from Harrisville City.
13. All home occupations shall comply with all health building and fire codes and regulations for the particular use on the property.
14. No home occupation, specifically trades and crafts, shall interfere with the predominately residential purpose and uses of the residential zone where a home occupation is to be located.
15. With compliance to Weber Morgan Health Department regulations, the use of a Permanent Makeup Machine (PMU) for use of cosmetics in addition to scar coverings.

**Staff Recommendation:**

Staff recommends approval of the Conditional Use Permit, subject to the following conditions:

1. **The applicant shall comply with the Special Regulations outlined in Section §11.10.020(9) of the Harrisville Municipal Code**
2. **A limit on the number of clients present at any one time shall be established and maintained as determined by the Planning Commission.**
3. **All clients must use off-street parking spaces that comply with the requirements of HCMC § 11.09.040 Parking Regulations.**

**Conditional Use Permit (Residential Zones) : Entry #  
19205**

**Date**

10/28/2025

**Name**

La Toria Gipson

**Phone**

3108925007

**Email**

[latoria@lgfitness4life.com](mailto:latoria@lgfitness4life.com)

**Applicants Address**

364 west 1125 north Harrisville UT 84404

harrisville, UT 84404

[Map It](#)

**Property Owner's Name**

Derek and La Toria Gipson

**Harrisville Property Address**

364 west 1125 north Harrisville UT 84404

**Please describe the proposed conditional use or uses for the property**

Personal Training clients out of garage

**Applicant's Signature**



**Property Owner Signature and Authorization (If you are not the property owner, please upload a signed letter from the property owner giving authorization to process this conditional use permit with Harrisville City)**



**Harrisville City Municipal Code §11.18.030**

Business will operate from my home at 364 W 1125 N Harrisville Utah 84404

I will use my garage 44'x22' 20 feet high as a training facility

No structural changes are being made to the home.

**Detailed location, Site, and/or Building Plan**

## Conditional Use Permit (Residential Zones) : Entry # 19205

- [new-gym.jpg](#)

### Businesses Information

#### Company Name

FITNESS 4 LIFE BY L.G.

#### Payment Information

#### Confirmation Email Address

latoria@lgfitness4life.com

### Notes



#### Admin Notification (ID: 679bd95a7a366)

added October 28, 2025 at 5:27 pm

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