



HARRISVILLE CITY

363 W. Independence Blvd · Harrisville, Utah 84404 · 801-782-4100
www.cityofharrisville.com

PLANNING
COMMISSION:

Nathan Averill
Chad Holbrook
Brad Elmer
Jordan Read

Harrisville City Planning Commission

Harrisville City Offices
Wednesday, July 10, 2024

AGENDA

Zoom Meeting Link

Meeting ID: 824 6873 6901

Passcode: 152691

1. **CALL TO ORDER**
2. **CONSENT APPROVAL** – of Planning Commission minutes from June 12, 2024.
3. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary plat approval for Gardner Grove Subdivision located at approximately 736 West Harrisville Road. – Entity X LLC
4. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary plat approval for Heavenly Roads Phase 1 located at approximately 2150 North 500 West – Jed McCormick
5. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary/final site plan approval for Bailey V Business Condos commercial site plan located at approximately 2340 North Highway 89. – Bailey V
6. **DISCUSSION/ACTION/RECOMMEND** – to grant approval of Ascension Lutheran Church Subdivision Amendment for property located at 1105 North Washington Blvd. – Nolan Karras
7. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary/final approval for Family Promise site plan for property located at approximately 1105 North Washington Blvd. – Nolan Karras
8. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary/final approval for Elite 3 manufacturing site plan for property located at approximately 1601 North 750 West – Elite 3 Construction LLC
9. **PUBLIC COMMENTS – (3 minute maximum)**
10. **COMMISSION/STAFF FOLLOW-UP**
11. **ADJOURN**

Certificate of Posting and Notice

I, Cynthia Benson, certify that I am the Deputy Recorder of Harrisville City, Utah, and that the foregoing Planning Commission agenda was posted and can be found at City Hall, on the City's website www.cityofharrisville.com, and at the Utah Public Meeting Notice Website at <http://pmn.utah.gov>. Notice of this meeting has also been duly provided as required by law. In accordance with the Americans with Disabilities Act (ADA), the Harrisville City will make reasonable accommodations for participation in the meeting. Please make a request for accommodation with the City Offices at 801-782-4100, x1004, at least three (3) business days prior to any meeting.



Harrisville City Planning Commission

Harrisville City Offices

Wednesday, June 12, 2024 – 7 PM

Commissioners: Nathan Averill
Chad Holbrook
Brad Elmer
Jordan Read

Staff: Jennie Knight (City Administrator)
Cynthia Benson (Deputy Recorder)
Justin Shinsel (Public Works Director)
Brody Flint (City Attorney)

Visitors: Glade McCombs, William Brechbill, Paul Davis, Judeane Caulford, David Conley, Greg Montgomery, Shannon Rich, Aaron Field, Craig North, Marvin Farrell, Tawna Field.

1. CALL TO ORDER

Chair Averill welcomed all in attendance.

2. CONSENT APPROVAL – of Planning Commission minutes from May 8, 2024.

MOTION: Commissioner Holbrook motioned to approve Planning Commission minutes from May 8, 2024. Commissioner Read seconded the motion. The motion passed with all voting in the affirmative.

| | |
|----------------|-----|
| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

3. PUBLIC HEARING – in accordance with Utah Code §10-9a-502, the Harrisville City Planning Commission will hold a public hearing on Wednesday, June 12, 2024, at 7 PM, to take comments for and/or against a Master Development Agreement for Oak Hollow Subdivision.

Chair Averill read through the rules for a public hearing before entertaining a motion to open the public hearing period.

MOTION: Commissioner Read motioned to open the public hearing. Commissioner Elmer seconded the motion.

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| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

Jennie Knight, City Administrator, updated the commission on an appeal the city received for this

project. The appeal hearing was held on May 14, 2024, where it was determined the process in which the city used to adopt Ordinance #551 was missing a few state statute steps resulting in the need to present the Master Development Agreement (MDA) before the commission tonight. Since your last view of the MDA, staff and the developer have been able to clean up the MDA and remove language which was not applicable.

Greg Montgomery expressed his concerns on the process and his understanding of what the city is trying to accomplish. It is his understanding the city is approving a Master Development Agreement and not a cluster subdivision which was the original presentation. He feels the city is not paying homage to its own ordinances. Under the ordinance, this development would have been a 14-15 lot subdivision. Now under the development agreement this is a 30-lot development where negotiations have taken place. Why is the city not following its own ordinances? Why is this now a development agreement? He feels the process is not being referred to by the right title in the noticing. He was not aware of a preliminary plat being filed nor any fees being paid for a subdivision application. He asked for clarification on what is being approved tonight. Is this a concept with a development agreement or a preliminary subdivision? He feels there is language in the development agreement which allows the developer to modify the housing type without having to obtain city approval. He stated his concerns about the current plan not allowing the option for some property line homeowners to add amenities to their property due to a smaller rear setback distance. He concluded his comments by asking what the notice will be for those who utilize the irrigation ditches.

Aaron Fields understands the state is requiring cities to provide more affordable housing. His thinking is the ordinances are there to protect. He feels the city has tossed the ordinances out to approve the development. He stated his concerns about lot sizes and the quantity. It is unfair to change the rulebook for the new development when the standards his house was built were different. He asked the existing ordinances to be followed to protect all the parties involved. Chair Averill asked to see the picture Mr. Fields took today from his back deck where three lots, one being a retention pond, were to be placed. Mr. Fields restated his concern about cramming so many lots into a small parcel of land making it feel more like New York.

William Brechbill asked if the development agreement is online for him to review since this was the first time he had heard about the project. Commissioner Read and Chair Averill explained where the meeting packet is located and how to access it on the city website.

MOTION: Chair Averill motioned to close the public hearing. Commissioner Holbrook seconded the motion.

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| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

- 4. DISCUSSION/ACTION/RECOMMEND** – to recommend adoption of Ordinance 558; an ordinance adopting a Master Development Agreement for Oak Hollow Subdivision located at approximately 265 Larsen Lane.

Commissioner Holbrook said he feels there is a false dichotomy on whether the city is following the ordinances. He feels there needs to be an explanation about how the ordinances will be contained within the MDA protecting those parties involved.

Brody Flint, City Attorney, explained under state law, and through a lot of pressure by the state legislation, the law was changed to allow development agreements to occur outside of existing ordinances. The option now is for developers and the city to complete a development agreement which is a contract between the developer and the city. The benefits to this are flexibility to create housing options which would not otherwise meet ordinances and for faster approvals. The development agreement governs the development as it moves forward.

Chair Averill asked if it would be possible to redo the process under the cluster ordinance. Mr. Flint stated clearly the commission cannot undo the process. It is the landowner's prerogative to develop the land as they see fit. They now have the option to create a development agreement to obtain their desired goal for any given property within the city. If the City Council wishes to start all over despite the Planning Commission's recommendation, that is still an option. Chair Averill stated he wanted to understand the process since both a cluster subdivision and development agreement have been presented. Mr. Flint continued saying this is where the Appeal Authority comes in. The agreement before you is the developer's choice for the development to move forward.

Commissioner Elmer asked for clarification on whether or not the concerns on the legal side and on the city side have been appeased. Mr. Flint answered the development agreement is essentially the same as what has already been approved through the City Council. To the developer's credit, he did not ask for changes. The only items changed were items found by the appeal authority, verbiage which was not applicable to the subdivision and added clarification on what ordinances and codes are to be followed within the agreement. Whether or not we call this a subdivision or an agreement, it is essentially the same. The difference is right now we are operating under the statutes of a development agreement which is a legislative decision. Chair Averill added the last time this was presented the statutes were both legislative and executive creating the dichotomy mentioned.

Commissioner Read added it was his understanding the development agreement has some fluid decisions which still need to be made as the development continues through the process. Mr. Flint agreed. He explained the future subdivision process comes later. Chair Averill explained the stage this development is in is the concept stage. The preliminary stage will come later. Mr. Flint said the developer has the concept and is now working through that plan to obtain the approvals necessary. Ms. Knight clarified the agreement will allow lots number to move between phases, but the approved number will not change. There is language specifying this development to be single family. The developer would not be allowed to change to twin homes, or a multi-family home nor would he be able to change the any part of the agreement without going through the approval processes outlined by ordinance. Mr. Flint emphasized that the agreement cannot be unilaterally changed without the city approval process based on contract law. If the developer asks for any change, they would have to start the approval process all over again.

Commissioner Holbrook stated he understood a development agreement is to allow the city more control over what the final product of any given development will be. By having these agreements in place, the city is protecting itself and its residents.

Glade McCombs expressed his appreciation for the commission. He continued his remarks with clarification on the MDA. During the public hearing a comment was made stating if we approve an MDA, we slight all the city ordinances. He firmly disagrees. He further explained the state has streamlined the approval process by allowing developers to submit MDAs, but they still must pass through the city planning authority and all necessary approvals as outline by city ordinance. When the development team found out they needed to resubmit the project, the development team decided to leave the plan unchanged despite their opportunity to ask for more. The only item repositioned on the concept is where the pickle ball courts are to go based off a request stated the last time they were before the commission. He reiterated the submission itself has not changed. To take it back through the process of a cluster, which they met, would not make sense. The calculations for the development were based off the developed area. He stated the development team only wishes to build this development in order to create something nice for the community.

Chair Averill reviewed the public comments to verify all were addressed before calling for a motion.

MOTION: Commissioner Holbrook motioned to forward a positive recommendation of Ordinance 558; an ordinance adopting a Master Development Agreement for Oak Hollow Subdivision located at approximately 265 Larsen Lane subject to any staff or agency comments. Commissioner Elmer seconded the motion.

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|----------------|-----|
| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

5. DISCUSSION/ACTION/RECOMMEND – to grant preliminary plat approval of Harrisville Fields Subdivision Phase 1 located at approximately 867 North Harrisville Road.

Ms. Knight updated the street addresses for this phase will be 390 West North Street and reviewed the engineer's memo. The reason we are here is for the preliminary plat approval for Harrisville Fields Phase 1. After this approval, if obtained, the remaining approvals will be processed through the Administration Land Use Authority.

Chair Averill asked if the length of the top cul-de-sac, 600 North, is an issue. Justin Shinsel, Public Works Director, stated all stubbed roads on the plat are for future developments to the west and the lengths are less than 600 feet per code.

Chair Averill asked for the reason 400 North is dedicated to Ogden instead of Harrisville. Mr. Shinsel replied this section of North Street is currently in Ogden thus creating the reason. After this point there is a road shift where North Street goes back to Harrisville City to maintain. Ogden is to maintain the road to this point. The roads within the subdivision will be city maintained.

MOTION: Commissioner Read motioned to approve preliminary plat approval of

Harrisville Fields Subdivision Phase 1 located at approximately 867 North Harrisville Road subject to Engineer's memo dated June 6, 2024, and any other staff or agency comments. Commissioner Holbrook seconded the motion.

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|-----------------------|------------|
| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

6. DISCUSSION/ACTION/RECOMMEND – to grant preliminary plat approval of Harrisville Fields Subdivision Phase 2 located at approximately 867 North Harrisville Road.

Chair Averill began the discussion by asking about the extra-long cul-de-sac, 850 North Street, within this phase. Ms. Knight responded that this concern was addressed through the appeal authority for a variance at the beginning of the approval processes. It was granted due to the limitations the flood plain caused the developer. Chair Averill asked if the flood plain needs to be shown on the plat. Ms. Knight said this is addressed in the engineer's comments and will need to occur before final approval can be granted. Mr. Shinsel said the commission needs to keep in mind the flood plain is categorized as an A zone not an AE zone. Currently, the developer does not have the study completed to know what the base elevation levels are for this development. Once this is known, the homes will be built at that elevation or above.

Ms. Knight added there is language on this plat which will be updated. For instance, streets instead of lanes and so on. Also, there is not an HOA for this development.

Chair Averill asked if the skinny street, 3750 W Street, was given a variance for a fire turnaround. The comment on the plat shows this cul-de-sac does not meet code requirements. Mr. Shinsel answered this was caught during the engineer's comments and will be addressed in future reviews.

Chair Averill asked if Four Mile Creek will be open or in pipe. Mr. Shinsel replied Four Mile Creek and Dixon Creek merge in this phase. Piping of the creek will require a stream alteration permit since placing the ditch in pipe will be altering the stream. The creeks will follow their normal course through the properties and remain in either open space or in the flood plain. There will not be any building on top of the creeks.

Chair Averill asked for clarification on the remaining open space and whether it will be dedicated to the city. Ms. Knight said this area has been identified as a new park with a regional detention basin. The appearance of the basin has not been determined at this time.

MOTION: Commissioner Elmer motioned to approve preliminary plat approval of Harrisville Fields Subdivision Phase 2 located at approximately 867 North Harrisville Road subject to Engineer's memo dated June 6, 2024, and any other staff or agency comments. Commissioner Read seconded the motion.

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| Nathan Averill | Yes |
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| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

7. DISCUSSION/ACTION/RECOMMEND – to grant preliminary plat approval of Harrisville Complex Subdivision located at approximately 750 W 1750 North.

Ms. Knight stated the purpose is to realign the area to create a lot 2, which will be sold to North View Fire as a future substation, and to dedicate the road structure to the city outside of the area where the Public Works Facility is being constructed. Through the programming phase with the architect, and with North View Fire, the substation will now be a separate building. This will put the substation closer to Highway 89.

Commissioner Elmer asked what the time frame is for the substation. Ms. Knight answered North View Fire adopted their Strategic Plan in February 2024 with possible completion within five (5) years. The city is not certain of their exact time frames since they are a separate entity.

Commissioner Read asked of this partnership will change the fire fees paid out for fire services in the future. Ms. Knight said North View Fire did a comprehensive study which defined Harrisville in need of a substation. However, how they plan on paying for it is not known currently.

Chair Averill asked how the addressing will be for these lots. Ms. Knight replied both lots will most likely be addressed off 1750 North which currently is under construction. The addressing will be determined by the city engineer.

MOTION: Chair Averill motioned to grant preliminary plat approval of Harrisville Complex Subdivision located at approximately 750 W 1750 North subject to the Engineer's Memo dated June 6, 2024, at to any staff or agency comments. Commissioner Holbrook seconded the motion.

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|-----------------------|------------|
| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |
| Jordan Read | Yes |

The motion passed with all voting in the affirmative.

Commissioner Read was excused.

8. PUBLIC COMMENTS – (3 minute maximum)

Greg Montgomery added to his earlier comments his concerns about application fees for development agreements. He has not seen any fees collected for this process, which has taken a lot of city staff time to complete as the commission has seen here tonight. He did not see any fee structure for developments and feels there should be. He wished to further clarify whether or not the development meets the ordinances. He mentioned the appeal process never ruled if the

development meets the city ordinances. He greed the city will not allow homes to be built outside of buildable areas. However, because of the setbacks the new homeowners will not be able to add onto their home such as a sunshade, deck, etc.

9. COMMISSION/STAFF FOLLOW-UP

Ms. Knight began by stating the MDA fee is not included in the current fee schedule. This is a new update through state legislation. Typically, the city will pass along any costs to the developer which exceed the collected application fees before final approvals can be obtained. Chair Averill pointed out there is a section in the MDA which addresses this.

Ms. Knight informed the commission Mayor Tait received a resignation letter from Bill Smith in May. There are now two openings for the commission. If anyone is interested in filling those positions, they can fill out an application on the city website.

Commissioner Holbrook inquired about the golf course. Ms. Knight mentioned the sewer line installation is underway. Staff have met with the developer about the updates to Millenium Park installation. As of now, the ditch which runs on the south side of the property, will remain as is throughout the watering season before any construction is completed. They will be adding restrooms, playground equipment, sod, and sprinklers. The city has been working with the lender to accomplish this.

Commissioner Holbrook asked if there was any intent to place a sidewalk on the west side of Highway 89. Ms. Knight said the sidewalks will be added during development of the parcels. Currently there are no other plans to do so.

10. ADJOURN

MOTION: Chair Averill motioned to adjourn the meeting. Commissioner Elmer seconded.

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|-----------------------|------------|
| Nathan Averill | Yes |
| Chad Holbrook | Yes |
| Brad Elmer | Yes |

All voted in the affirmative.

The meeting adjourned at 7:58 pm.

Nathan Averill
Chair

Cynthia Benson
Deputy Recorder

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville City Planning Commission

FROM: Matt Robertson, City Engineer

RE: **GARDNER GROVE SUBDIVISION (ENTITY X PROPERTY)**
Preliminary Plat Submittal

Date: July 3, 2024

Our office has completed a review of the preliminary subdivision plat for the referenced development located on the parcels owned by Entity X (HHI Corp.) between West Harrisville Road, 750 West and Highway 89. This subdivision includes property zoned M-1 as well as the property zoned C-1 along the Highway. The proposed plat shows dividing the existing parcels into 5 lots and includes the dedication of City streets, including the 1750 North roadway which will connect the City-owned property to the highway.

We have reviewed the preliminary plat and have made comments on the plat that will need to be resolved with the City's Administrative Land Use Authority prior to final approval. We recommend preliminary approval of the plat at this time with the following comments to be completely addressed prior to final approval:

1. Submit the plat to the Weber County Surveyor's Office for review and receive approval of the plat from their office. Include a signature block for them on the plat.
2. Resolve all red-line comments provided by our office on the preliminary plat.
3. Include the plat narrative, notes, curve table and other required information on the plat.
4. Include the dimensions and locations of the public utility and drainage easements and any other required easements associated with the canal and irrigation ditches on the property.
5. The proposed land swap with the Vasas family will need to be finalized and they will need to sign the plat as property owners in the subdivision.
6. Show the existing ponds and ditches and any wetland delineations on the plat.
7. If the proposed public street, "Lorriane Lane", isn't going to be constructed at this time, consider leaving it off the plat and adding it later with a subdivision amendment or new subdivision.
8. Provide lot addresses on the plat as provided by our office.

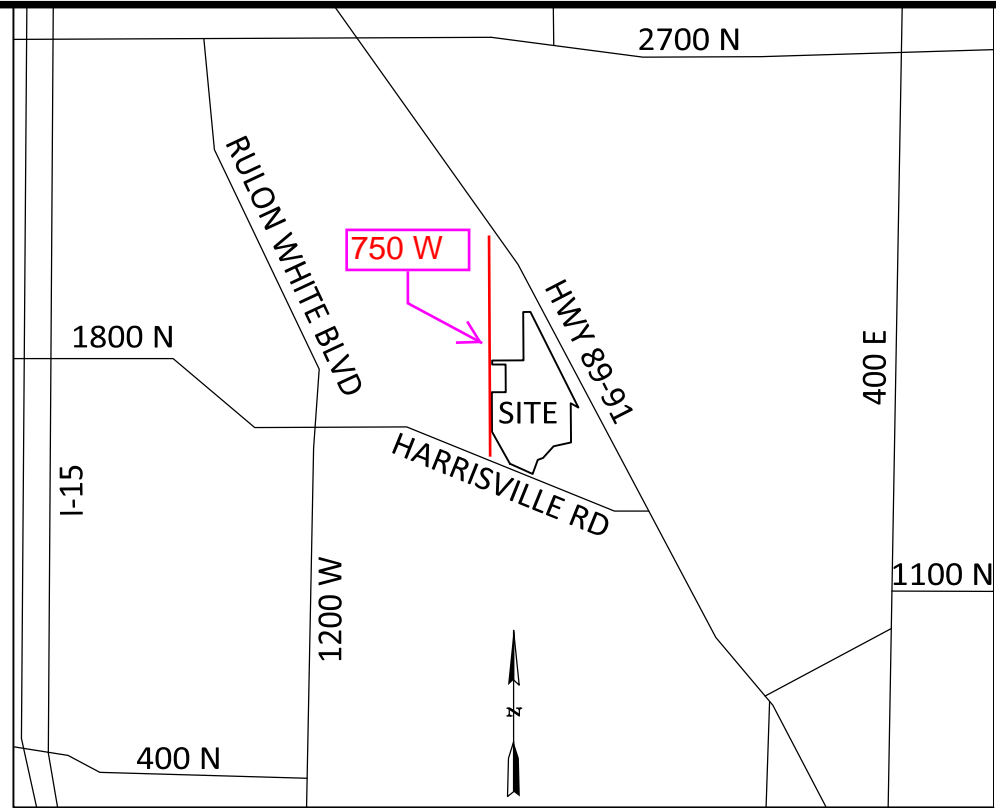
The comments listed in this memo and on the submitted plat are for the preliminary plat review only and additional comments and requirements will be provided as necessary on the final plat and improvement drawings as the Developer works with the City toward final approval. Please let me know if you have any questions.

GARDNER GROVE SUBDIVISION

PART OF SECTION 6,
TOWNSHIP 6 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
HARRISVILLE CITY, WEBER COUNTY, UTAH

| LINE | DIRECTION | LENGTH |
|------|-------------|--------|
| L1 | N00°52'18"E | 126.54 |
| L2 | S89°12'49"E | 219.06 |
| L3 | S50°14'00"E | 86.03 |
| L4 | S00°59'16"E | 29.07 |
| L5 | S01°01'39"E | 19.04 |
| L6 | S61°08'43"E | 112.02 |
| L7 | N63°34'13"E | 204.45 |
| L8 | S89°53'20"E | 78.93 |

MISSING:
1. PLAT NARRATIVE
2. PLAT NOTES
3. CURVE TABLE
4. POB (LABEL POINT OF BEGINNING)



VICINITY MAP
N.T.S.

NORTH QUARTER CORNER SECTION 6,
TOWNSHIP 6 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
(FOUND BRASS CAP)

SURVEYOR'S CERTIFICATE

I, MATT K. PETERSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 7031451, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS GARDNER GROVE SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

A PART OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN. BEGINNING AT A 3" BRASS CAP MONUMENT BEING A POINT LOCATED 845.96 FEET (849.0 FEET RECORD) AND NORTH 89°46'34" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER AND SOUTH 463.48 FEET (458.90 FEET RECORD) FROM THE NORTH QUARTER CORNER OF SAID SECTION 6, AND RUNNING THENCE SOUTH 89°36'56" EAST 87.17 FEET (85.58 FEET RECORD) TO A LINE 200 FEET PERPENDICULAR AND SOUTHWESTERLY FROM THE WESTERLY RIGHT OF WAY OF STATE HIGHWAY 89-91; THENCE PARALLEL TO SAID HIGHWAY ON SAID LINE SOUTH 26°26'57" EAST 1495.15 FEET (1504.31 FEET RECORD) TO A POINT IN THE HARRISVILLE CANAL; THENCE NORTH 61°08'43" WEST 112.02 FEET (119.00 FEET RECORD) TO A 3" BRASS CAP MONUMENT ON THE SOUTH BANK OF SAID CANAL AND AN EXTENSION OF AN EXISTING FENCE LINE; THENCE SOUTH 00°59'15" WEST 715.62 FEET (725.09 FEET MORE OR LESS RECORD); THENCE SOUTH 87°49'15" WEST 348.91 FEET; THENCE SOUTH 41°23'32" WEST 264.00 FEET THENCE NORTH 65°10'18" WEST 420.50 FEET (411.10 FEET RECORD) ALONG SAID RIGHT OF WAY LINE TO THE EASTERLY RIGHT OF WAY LINE OF O.S.L.R.R. BEING A LINE 50.00 FEET PERPENDICULAR AND NORTHEASTERLY FROM THE CENTERLINE OF THE MAIN LINE TRACT; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 25°54'30" WEST 764.08 FEET TO THE EAST RIGHT OF WAY LINE OF 750 WEST STREET; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°52'18" EAST 425.64 FEET TO THE SOUTH LINE OF INTERSPACE BRICK SUBDIVISION PHASE 2; THENCE ALONG SAID PHASE 2 THE FOLLOWING TWO (2) COURSES: (1) SOUTH 88°16'48" EAST 280.63 FEET; THENCE NORTH 1°43'15" EAST 308.32 FEET TO THE SOUTHEAST CORNER OF INTERSPACE BRICK SUBDIVISION; THENCE ALONG SAID SUBDIVISION THE FOLLOWING THREE (3) COURSES: (1) NORTH 00°58'58" EAST 437.88 FEET; (2) NORTH 50°14'00" EAST 86.06 FEET; (3) NORTH 89°12'49" WEST 219.06 FEET TO SAID EAST RIGHT OF WAY LINE OF 750 WEST STREET; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°52'18" EAST 126.55 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID FENCE LINE THE FOLLOWING TWO (2) COURSES: (1) NORTH 89°53'59" EAST 824.11 FEET (814.30 FEET RECORD) TO A 3" BRASS CAP MONUMENT; (2) NORTH 00°17'38" EAST 410.01 FEET (410.32 FEET RECORD) TO THE POINT OF BEGINNING.

CONTAINS: 66.973 ACRES, MORE OR LESS
5 LOTS

DON'T CLOSE OR
MATCH UP WITH THE
DRAWING - REVISE
AND UPDATE

DATE: NAME

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS,

GARDNER GROVE SUBDIVISION

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON. IN WITNESS WHEREBY WE / I HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____ A.D. 20 ____

BY: BY: DEDICATE STREETS AND PUES DIRECTLY
TO HARRISVILLE CITY. DEDICATE SPECIFIC
EASEMENTS TO SPECIFIC UTILITY
COMPANIES (WESTERN IRRIGATION)

TITLE: OWNERS

CORPORATE ACKNOWLEDGMENTS

STATE OF _____)
COUNTY OF _____) SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY
OF _____, 20____, THERE PERSONALLY APPEARED BEFORE ME,

MY COMMISSION EXPIRES: COMMISSION NUMBER:

Notary Public (Print Name) Notary Public (Signature)

A NOTARY PUBLIC COMMISSIONED IN UTAH

PRELIMINARY

GARDNER GROVE SUBDIVISION

PART OF SECTION 6,
TOWNSHIP 6 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY

1 OF 1

WEBER COUNTY RECORDER

ENTRY NO. FEE PAID \$
FILED FOR RECORD AND RECORDED THIS ____ DAY
OF ____ 20____ AT ____ IN BOOK ____
OF OFFICIAL RECORDS OF PAGE ____

WEBER COUNTY RECORDER

LEGEND

- BOUNDARY LINE
- PROPERTY LINES
- DEED LINES ALONG "BLA"
- FENCE
- SECTION LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE

SET ESI ENG. REBAR AND CAP
(UNLESS OTHERWISE NOTED)

WEBER COUNTY SECTION
CORNER MONUMENT
(SEE NOTE FOR DESCRIPTION)

SUBDIVIDER/OWNER: ENTITY X LLC
NAME: REGINA & CLIFF HOKANSON
ADDRESS: 736 W HARRISVILLE RD
HARRISVILLE, UT 84404
PHONE NUMBER: (385) 333-4400
EMAIL: REGINA@HHICORP.COM

HARRISVILLE CITY ENGINEER
APPROVED THIS ____ DAY
OF ____ A.D., 20____
CITY ENGINEER

HARRISVILLE CITY PLANNING COMMISSION
APPROVED THIS ____ DAY
OF ____ A.D., 20____ BY
THE HARRISVILLE CITY
PLANNING COMMISSION.
CHAIRMAN

APPROVAL AS TO FORM
APPROVED AS TO FORM THIS ____ DAY
OF ____ A.D. 20____
HARRISVILLE CITY ATTORNEY

HARRISVILLE CITY COUNCIL
PRESENTED TO THE HARRISVILLE
CITY COUNCIL THIS ____ DAY
OF ____ A.D., 20____
MAYOR
ATTEST: CITY RECORDER

ESI ENGINEERING
CONSULTING ENGINEERS AND LAND SURVEYORS
4141 WEST 2100 SOUTH SUITE 100
WEST VALLEY CITY, UTAH 84120
TEL: (801) 263-1752

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville City Planning Commission
FROM: Matt Robertson, City Engineer
**RE: HEAVENLY ROADS SUBDIVISION
Preliminary Plat Submittal**
Date: July 3, 2024

Our office has completed a review of the preliminary subdivision plat for the referenced development located at approximately 2150 North 500 West. This property is zoned R3, which is an old zone in the City which still applies to these parcels. The proposed development will construct 100 new townhome units, in 25 4-plexes, and includes public streets as well as private streets and open space to be maintained by an HOA. The proposed public streets connect to existing street stubs on either side of the property.

We have reviewed the preliminary plat and have made comments on the plat that will need to be resolved with the City's Administrative Land Use Authority prior to final approval. We recommend preliminary approval of the plat at this time with the following comments to be completely addressed prior to final approval:

1. Submit the plat to the Weber County Surveyor's Office for review and receive approval of the plat from their office. Include a signature block for them on the plat.
2. Resolve all red-line comments provided by our office on the preliminary plat.
3. Ensure that the private drives are wide enough and provide turning space for emergency vehicles (approval to be obtained from North View Fire District).
4. Provide additional parking in the private area as required by the City to encourage parking within this area and not on the city street.
5. Include the dimensions and locations of the public utility and drainage easements and any other required easements associated with the utilities or ditches on the property.
6. Lot 1 is owned by the City for their detention basin – this basin will be relocated and combined with the development's basin. Include Harrisville City as an Owner on the plat and include an acknowledgment block for them.
7. Provide lot addresses on the plat as provided by our office.

The comments listed in this memo and on the submitted plat are for the preliminary plat review only and additional comments and requirements will be provided as necessary on the final plat and improvement drawings as the Developer works with the City toward final approval. Please let me know if you have any questions.

MEMORANDUM

TO: Harrisville City Planning Commission

FROM: Brandon Green
City Planner

RE: **HEAVENLY ROADS SUBDIVISION**
Preliminary Plat Submittal

Date: July 3, 2024

Our office has completed the review of the preliminary plat for the Heavenly Roads Subdivision, located at approximately 2150 N. 500 W. A concept plan for this development was initially submitted and reviewed under the old R-3, Multiple-Family Residential Zoning Ordinance, which has since been replaced. However, this development has been grandfathered in and will be reviewed and approved according to the previous R-3 Zoning Ordinance.

1. Weber County records indicate that the combined total acreage is 10.02 acres, based on the following parcel totals:

17-064-0027: 4.45 acres

17-064-0022: 5.32 acres

17-275-0035: 0.25 acres

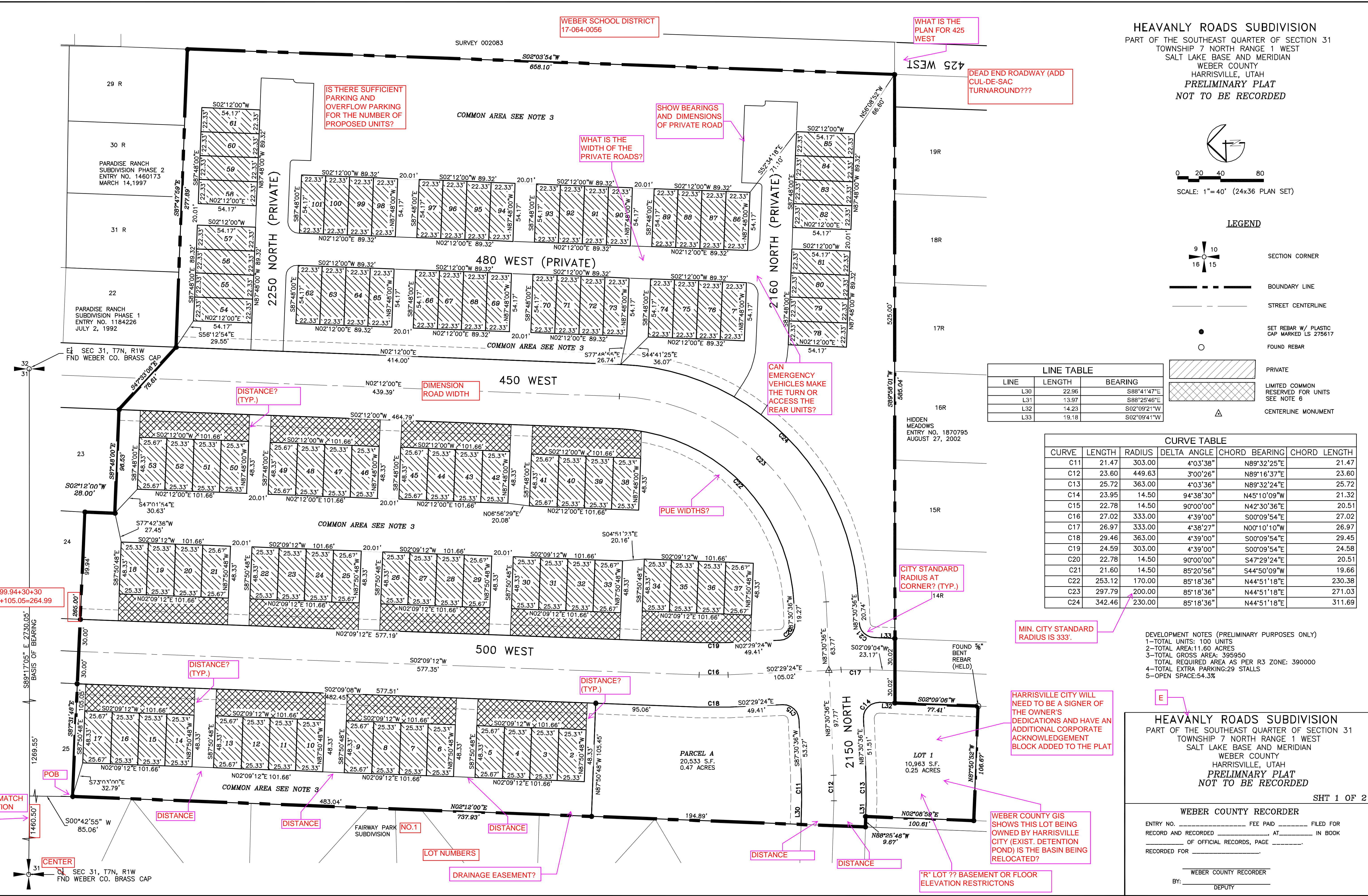
Total: 10.02 acres

The calculations on the preliminary plat indicate a total of 11.60 acres. This discrepancy affects the number of units and available open space calculations. The Developer will need to review these parcels and make the necessary corrections to the calculations.

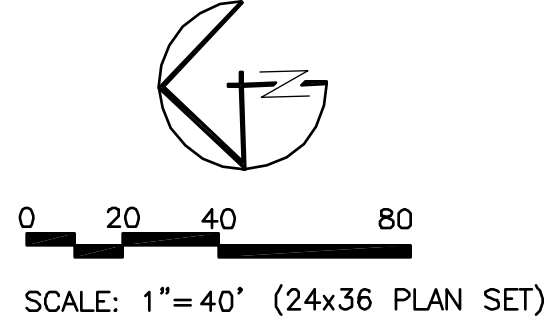
2. Provide information on the plat that indicates building setback requirements which are compliant with the R-3 zoning ordinance.
3. Provide information on the plat that indicate building height requirements which is compliant with the R-3 zone.
4. Based on the development density, please provide parking calculations for both tenant parking and visitor parking stalls.
5. Show on the plat proposed locations for tenant amenities. (i.e. playground, walking path/trail etc.)

The comments listed in this memo are for preliminary plat review. Any additional comments and requirements will be provided as necessary on the final plat and improvement drawings as the Developer works with the City toward final approval.

Please let me know if you have any questions.



HEAVENLY ROADS SUBDIVISION
PART OF THE SOUTHEAST QUARTER OF SECTION 31
TOWNSHIP 7 NORTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY
HARRISVILLE, UTAH
PRELIMINARY PLAT
NOT TO BE RECORDED



LEGEND

| | |
|--|--|
| | SECTION CORNER |
| | BOUNDARY LINE |
| | STREET CENTERLINE |
| | SET REBAR W/ PLASTIC CAP MARKED LS 275617 |
| | FOUND REBAR |
| | PRIVATE |
| | LIMITED COMMON RESERVED FOR UNITS SEE NOTE 6 |
| | CENTERLINE MONUMENT |

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L30 | 22.96 | S88°41'47"E |
| L31 | 13.97 | S88°25'46"E |
| L32 | 14.23 | S02°09'21"W |
| L33 | 19.18 | S02°09'41"W |

CURVE TABLE

| CURVE | LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|--------|--------|-------------|---------------|--------------|
| C11 | 21.47 | 303.00 | 4°03'38" | N89°32'25"E | 21.47 |
| C12 | 23.60 | 449.63 | 3°00'26" | N89°16'37"E | 23.60 |
| C13 | 25.72 | 363.00 | 4°03'36" | N89°32'24"E | 25.72 |
| C14 | 23.95 | 14.50 | 94°38'30" | N45°10'09"W | 21.32 |
| C15 | 22.78 | 14.50 | 90°00'00" | N42°30'36"E | 20.51 |
| C16 | 27.02 | 333.00 | 4°39'00" | S00°09'54"E | 27.02 |
| C17 | 26.97 | 333.00 | 4°38'27" | N00°10'10"W | 26.97 |
| C18 | 29.46 | 363.00 | 4°39'00" | S00°09'54"E | 29.45 |
| C19 | 24.59 | 303.00 | 4°39'00" | S00°09'54"E | 24.58 |
| C20 | 22.78 | 14.50 | 90°00'00" | S47°29'24"E | 20.51 |
| C21 | 21.60 | 14.50 | 85°20'56" | S44°50'09"W | 19.66 |
| C22 | 253.12 | 170.00 | 85°18'36" | N44°51'18"E | 230.38 |
| C23 | 297.79 | 200.00 | 85°18'36" | N44°51'18"E | 271.03 |
| C24 | 342.46 | 230.00 | 85°18'36" | N44°51'18"E | 311.69 |

DEVELOPMENT NOTES (PRELIMINARY PURPOSES ONLY)
1-TOTAL UNITS: 100 UNITS
2-TOTAL AREA:11.60 ACRES
3-TOTAL GROSS AREA: 395950
TOTAL REQUIRED AREA AS PER R3 ZONE: 390000
4-TOTAL EXTRA PARKING:29 STALLS
5-OPEN SPACE:54.3%

HEAVENLY ROADS SUBDIVISION
PART OF THE SOUTHEAST QUARTER OF SECTION 31
TOWNSHIP 7 NORTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY
HARRISVILLE, UTAH
PRELIMINARY PLAT
NOT TO BE RECORDED

SHT 1 OF 2

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR
RECORD AND RECORDED _____ AT _____ IN BOOK
_____ OF OFFICIAL RECORDS, PAGE _____
RECORDED FOR _____

WEBER COUNTY RECORDER
BY: _____ DEPUTY

HEAVANLY ROADS SUBDIVISION
PART OF THE SOUTHEAST QUARTER OF SECTION 31
TOWNSHIP 7 NORTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY
HARRISVILLE, UTAH
PRELIMINARY PLAT
NOT TO BE RECORDED

CITY COUNCIL APPROVAL AND ACCEPTANCE

Presented to the Harrisville City Council this _____ day of _____ A.D., 2024, at which time this subdivision was approved and accepted.

Mayor _____ Date _____
Attest: _____
City Recorder

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____ 20____ BY THE HARRISVILLE CITY ENGINEER _____
HARRISVILLE CITY ENGINEER

PLANNING COMMISSION APPROVAL

Presented to the Harrisville City Planning Commission this _____ day of _____ A.D., 2024, at which time this subdivision was recommended to the City Council for approval.

Planning Commission Chairman _____ Date _____

APPROVAL AS TO FORM

Approved as to form this _____ day of _____ A.D., 20____.

City Attorney _____

GENERAL NOTES

- CURRENT ZONE: R3
- TOTAL PROJECT AREA: 11.60 ACRES.
- ALL OTHER AREAS CONTAINED WITHIN THE PROJECT, BUT NOT SHOWN WITH DIAGONAL STRIPES, AS PUBLIC STREETS OR LABELED AS LOTS OR PARCELS ARE CONSIDERED COMMON AREA, INCLUDING PARKING AND PRIVATE STREETS
- ALL COMMON AREAS(INCLUDED LIMITED COMMON) ARE CONSIDERED TO BE AN EASEMENT FOR ALL PUBLIC UTILITIES, MUNICIPAL UTILITIES, IRRIGATION AND DRAINAGE PURPOSES. THIS INCLUDES THE INGRESS/EGRESS AREA.
- ALL EXPENSES INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR CULINARY WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, GRADING AND LANDSCAPING, STORM DRAINAGE, SIGNAGE, STREET LIGHTING AND OTHER IMPROVEMENTS SHALL BE PAID FOR BY THE DEVELOPER.
- ALL DRIVEWAYS, PATIOS, DECKS AND BALCONIES AS SHOWN ON EACH UNIT CONTAINED WITHIN THE PROJECT ARE CONSIDERED LIMITED COMMON AREAS. THEY ARE SET ASIDE AND RESERVED FOR THE USE OF THE RESPECTIVE UNIT TO WHICH THEY ARE ATTACHED AND/OR APPURTENANT.

WEBER COUNTY SURVEYOR

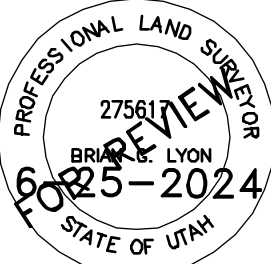
I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who execute this plat from the responsibilities and/or liabilities associated therewith.

Signed this _____ day of _____, 2024.

Weber County Surveyor

SURVEYOR'S CERTIFICATE

I, Brian G. Lyon, a Registered Land Surveyor, hold Certificate No. 275617, in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act; and I have completed a survey of the property described on this plat in Accordance with Section 17-23-17 and have verified all measurements, and have placed monuments as represented on this plat, and have hereby subdivided said tract into 101 lots, known hereafter as THE HEAVENLY ROADS SUBDIVISION located in Harrisville City, Weber County, Utah and has been correctly drawn to the designated scale and is true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records in the Weber County Recorder's Office and from said survey mad by me on the ground.



SURVEYOR NARRATIVE/NOTES

- The purpose of this survey was subdivide parcels 17-064-0027, and 17-064-0022 into 100 Townhouse Lots, 1 Single Family Lot, and 1 Parcel. The survey was requested by Jed McCormick.
- The Basis of Bearing is S89°17'05"E between the Center Section Corner and East Quarter Corner of Section 31, Township 7 North, Range 1 West of the Salt Lake Base and Meridian.

BOUNDARY DESCRIPTION

Part of the Southeast Quarter of Section 31, Township 7 North, Range 1 West of the Salt Lake Base and Meridian, to be more fully described by **SECTION 1** 1460.50 PER DRAWING

Commencing at the Center Quarter Corner of Section 31, Township 7 North, Range 1 West of the Salt Lake Meridian monumented with a Brass Cop; thence S89°17'05" E 1269.55 feet along the North line of the Southeast Quarter of said Section 31; thence S00°42'55" W 85.06 feet to the Southwest Corner of Lot 25, Paradise Ranch Subdivision Phase 1 recorded in the Weber County Recorder's Office under Entry No. 1184226 on July 2, 1992 and the POINT OF BEGINNING and running

thence along the south boundary of said subdivision the next four courses:

- S 87°31'48" E a distance of 265.00 feet;
- S 02°12'00" W a distance of 28.00 feet;
- S 87°48'00" E a distance of 96.53 feet;
- S 47°33'08" E a distance of 78.61 feet;

thence S 87°47'59" E a distance of 277.89 feet along the south boundary of lot 22 of said subdivision and along the south boundary of Paradise Ranch Subdivision Phase 2 recorded in the Weber County Recorder's Office under Entry No. 1460173 on March 14, 1997; thence S 02°03'54" W a distance of 658.10 feet;

thence along the North boundary of Hidden Meadows recorded in the Weber County Recorder's Office under Entry NO. 187072002 the next three courses:

- S 89°58'01" W a distance of 585.04 feet;
- S 02°09'06" W a distance of 77.41 feet;
- N 87°50'52" W a distance of 106.67 feet;

thence N 02°08'59" E a distance of 100.61 feet;
thence N 88°25'46" W a distance of 9.67 feet;
thence N 02°12'00" E a distance of 737.93 feet along Boundary of the Fairway Park Subdivision to the point containing 11.60 acres, more or less.

ROADS

OWNERS DEDICATION

Know all by these presents that we the undersigned owners of the above-described tract of land, having caused the same to be subdivided into lots and private streets as shown on this plat and name said tract HEAVANLY ROAD SUBDIVISION, and hereby dedicate, all those parts or portions of said tract of land designated as private street to the home owners association, the same to be used as private thoroughfares and is to be owned and maintained by the home owners association, and do hereby grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as common area/open space to be used as public utility, municipal utility, and drainage easements, the same to be used for the installation, maintenance and operation of the public utility service lines, municipal utility lines and/or storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements, plat notes shown hereon are hereby declared effective and binding.

_____, 2024.
In witness whereof, we have hereunto set our hands this _____ day of _____

Jed McCormick, Manager
MLJ INVESTMENTS, LLC

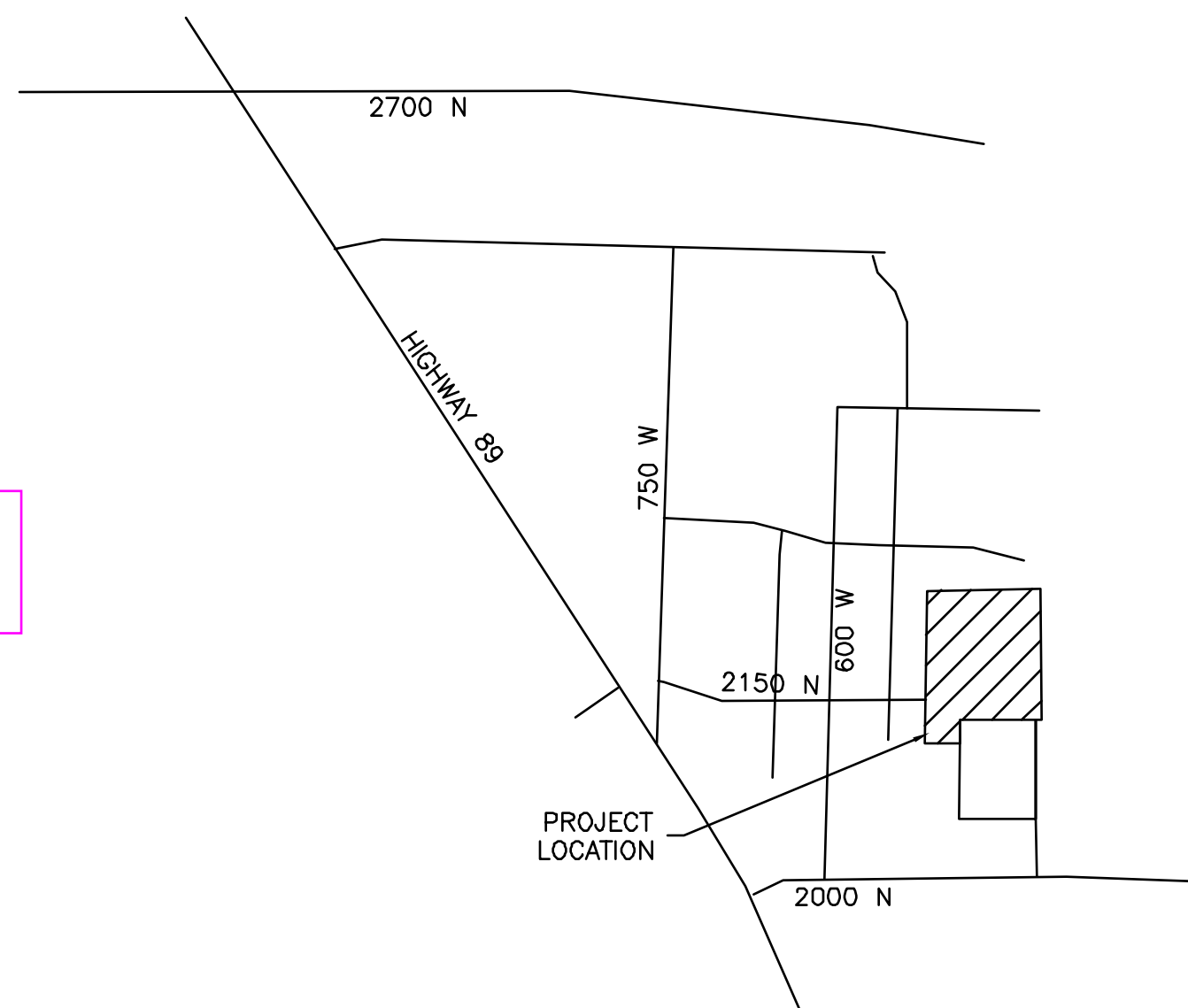
LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF _____ } ss

On this _____ day of _____ A.D. 2024, personally appeared before me, Jed McCormick who being by me duly sworn did say, for him/herself, that he/she is the Manager/Member of MLJ INVESTMENTS, LLC, a Utah Limited Liability Company and that the within and foregoing instrument was signed on behalf of said Limited Liability Company by authority of its Articles of Organization and each duly acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING AT _____

VICINITY MAP



FIX OWNER'S DEDICATION:
1. PARCEL "A" NEEDS TO BE DEDICATED TO THE DESIGNATED OWNER.
2. PUBLIC STREETS AND PUES NEED TO BE DEDICATED DIRECTLY TO HARRISVILLE CITY

ADD SIGNATURE BLOCK AND ACKNOWLEDGEMENT FOR HARRISVILLE CITY AS THEY ARE THE CURRENT OWNERS OF THE PROPERTY COMPRISING OF LOT 1

E

HEAVANLY ROADS SUBDIVISION
PART OF THE SOUTHEAST QUARTER OF SECTION 31
TOWNSHIP 7 NORTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
WEBER COUNTY
HARRISVILLE, UTAH
PRELIMINARY PLAT
NOT TO BE RECORDED

SHT 2 OF 2

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR
RECORD AND RECORDED _____ AT _____ IN BOOK
_____ OF OFFICIAL RECORDS, PAGE _____
RECORDED FOR _____

WEBER COUNTY RECORDER
BY: _____
DEPUTY



ALLIANCE CONSULTING
ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
(435)755-5121
alliancelogan@yahoo.com

Developer:
MLJ INVESTMENTS LLC
DEVELOPER
CONTACT
INFORMATION



Subdivision Application

Date / Time

06/25/2024

Number of Lots

101

Current Zoning

R-3

Elevation of Property

4319.00

Approximate Address

2150 North 500 West Harrisville, Utah

Phone Number

801-710-0391

Address

330 North 3600 West

State

Utah

Developer's Name

Jed McCormick

Developer's Email Address

jedmccor@gmail.com

City

West Weber

Zip Code

84404

Contact Person

Cody Zohner

Phone Number

4357643791

Phone Number

801-710-0391

Name of Subdivision

Heavenly Roads Subdivision

Acreage of Proposed Subdivision

11.6

Proposed Zoning

Parcel(s) included in the subdivision. Separate parcel numbers by a comma.

170640022,170640027

Full Name

Jed McCormick

Email Address

jedmccor@gmail.com

City

West Weber

Zip Code

84404

Developer's Phone Number

801-710-0391

Developer's Address

330 North 3600 West

State

Utah

Engineering Company

Alliance Consulting Engineers

Email Address

cody.alliance@gmail.com

Name

Jed McCormick

Email Address

jedmccor@gmail.com

Subdivision Application Part 2

Secondary Water Available?

Yes

Sewer Connection Available?

Yes

Is Property in a Flood Hazard Area?

No

Future proposed trails?

No

Please upload your preliminary plat for review:

See attached: PreliminaryPlatHeavenlyRoads6-25-24.pdf

Culinary Water Available?

Yes

Prescribed Easements?

No

Are there designated wetlands on the property?

No

Please upload will-serve letters from the following entities: Bona Vista Water, Central Weber Sewer, Pineview Water, Rocky Mountain Power, and Dominion Energy:

No file(s) uploaded

Developer's Signature**Property Owner's Signature**

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville Planning Commission

FROM: Matthew L. Robertson, P.E.
City Engineer

RE: **BAILEY V (HARRISVILLE BUSINESS CONDOS) SITE
PLAN Final Site Plan Review**

Date: July 3, 2024

Our office has completed a review of the final plans for the proposed Bailey V Site Plan located at approximately 2350 North Hwy 89. The site plan was previously approved in October 2022 but is coming back for approval due to the time that has lapsed without construction starting. The proposed improvements haven't changed from that approval, and we recommend final approval with the following comments that will need to be completed prior to the preconstruction meeting or issuance of any permits:

1. Record an easement at the County for the utility easement shown over the new 8" sewer that will be owned by Harrisville City.
2. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State.

Prior to construction, the Developer and Contractor must hold a pre-construction meeting with City staff. Should you any questions, please let us know.

PROJECT LOCATION

Athletic Expo
Family Transmission
Holly St
Chris St
Joanne St
Debbie St
Village Rd
Willow Brook Ln
W 2850 N
W 2300 N
W 2150 N
W 2100 N
Harrisville
VC Trucking LLC
Homespun
The New Utah Frame Company
Gilmore Inc
Scott Robb
JMT Properties LLC
Wildcat Storage
Hill, Tim D.
Dale Curtis Construction
N 800 N
N 770 N
N 740 N
N 710 N
N 680 N
N 650 N
N 620 N
N 590 N
N 560 N
N 530 N
N 500 N
N 470 N
N 440 N
N 410 N
N 380 N
N 350 N
N 320 N
N 290 N
N 260 N
N 230 N
N 200 N
N 170 N
N 140 N
N 110 N
N 80 N
N 50 N
N 20 N
N 0 N

Diagram illustrating the layout of a rectangular concrete slab. The overall dimensions are 18.0' (width) and 9.0' (height). The slab is 6" thick. The walls are 6' high CMU or masonry wall. The slab is labeled "6" THICK CONCRETE SLAB". The walls are labeled "6' HIGH CMU OR MASONRY WALL". The slab is supported by a "METAL GATE" at the bottom.

CAP

(1) NO. 4 CONT.

6" OR 8" CMU OR MASONRY WALL

NO. 4 BARS @ 32" O.C.

1/2" EXP. JOINT W/Joint SEALANT AT TOP

(2) NO. 4 CONT.

ASPHALT

VARIES 2" MIN

18" OVERLAP

8"

20"

2.5" MIN. CLEAR

POURED IN PLACE CONCRETE FOOTING

98% COMPACTED EARTH NO. 4 CONT.

COMPACTED EARTH

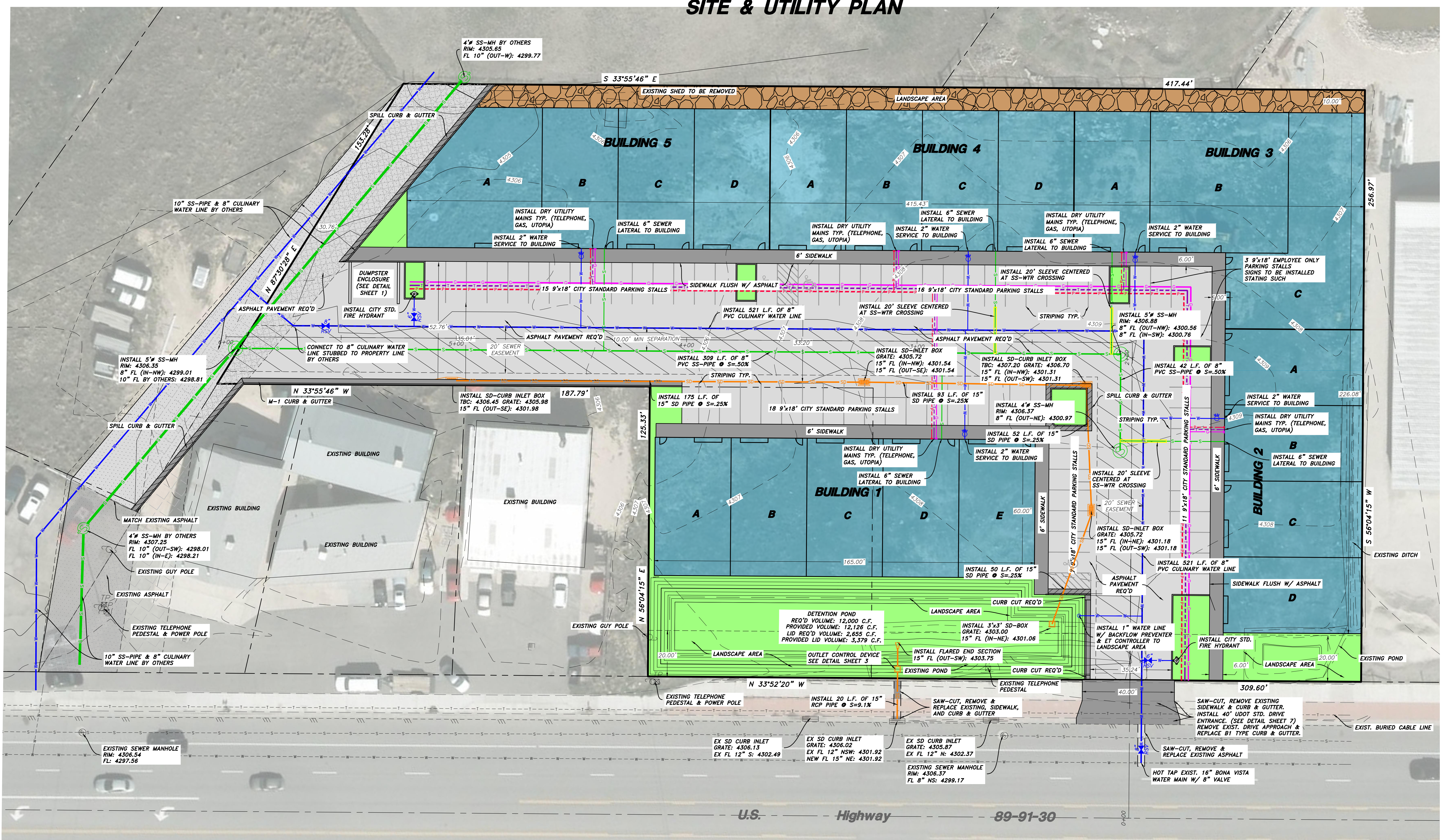
NO. 4 J-HOOKS @ 32" O.C.

NOTES:

NOT TO SCALE

[illegible]

SITE & UTILITY PLAN



UDOT NOTES:
 PATCHES FOR SMALL UTILITY TRENCHES AT MAIN ENTRANCE LOCATION ARE TO MEET THE FOLLOWING UDOT REQUIREMENTS:
 - ARE TO BE PERPENDICULAR TO THE TRAVEL LANES
 - AT LEAST A 2" ROTOMILLING APPROACHING & LEAVING THE PATCH IN ALL TRAVEL LANDS IMPACTED BEFORE FINAL ASPHALT PLACEMENT TO CREATE THE "T PATCH".
 - ALL FINAL PARALLEL SAW-CUT LINES OR ROTOMILLING MUST BE LOCATED EITHER AT DESIGNED LAND LINES OR DESIGNED CENTER OF LAND. SAW-CUTS MUST BE CLEANED AND A TACK-COAT APPLIED BEFORE ASPHALT PLACEMENT.
 - ALL TRENCHES FOR LATERALS WITHIN A 100' DISTANCE MUST HAVE A 2" MILL & REPLACED AS A SINGLE PATCH. SINGLE LATERALS WILL REQUIRE A 2" MILL FOR 20' IN EACH DIRECTION.

Engineer's Notice To Contractors
 The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!
 EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Before You Dig
 1-800-662-4111
 UNDERGROUND SERVICE

| CP-2 ZONE REQUIREMENTS | |
|--|-------------|
| MINIMUM LOT SIZE: | 3,000 S.F. |
| FRONT SETBACK: | 20 FEET |
| REAR SETBACK: | 10 FEET |
| SIDE SETBACK AT STREET: | 20 FEET |
| TYPICAL SIDE SETBACK: | 0 FEET |
| REQUIRED PARKING: | 70 STALLS |
| WAREHOUSING (BACK) AREA: | 27,222 S.F. |
| PARKING REQ'D. (1 STALL PER 1,000 S.F. FOR FIRST 10,000 S.F. & 1 PER 10,000 FOR EACH ADDITIONAL 10,000 S.F.) | 12 STALLS |
| LOW IMPACT RETAIL (FRONT) AREA: | 17,400 S.F. |
| PARKING REQ'D. (1 STALLS PER 300 S.F.): | 58 STALLS |
| REQ'D STORM POND VOLUME: | 12,000 C.F. |
| 100 YR STORM W/ .1 CFS/Ac. RELEASE | |

| PROJECT DATA | |
|--|-------------------|
| TOTAL PROJECT AREA: | 98,839 S.F. |
| LANDSCAPE AREA PROVIDED: | 15,200 S.F. (15%) |
| TOTAL BUILDING FOOTPRINT AREA: | 44,622 S.F. |
| WAREHOUSING (BACK) AREA: | 27,222 S.F. |
| PARKING REQ'D. (1 STALL PER 1,000 S.F. FOR FIRST 10,000 S.F. & 1 PER 10,000 FOR EACH ADDITIONAL 10,000 S.F.) | 12 STALLS |
| LOW IMPACT RETAIL (FRONT) AREA: | 17,400 S.F. |
| PARKING REQ'D. (1 STALLS PER 300 S.F.): | 58 STALLS |
| TOTAL PARKING REQ'D: | 70 STALLS |
| PARKING STALLS PROVIDED: | 70 STALLS |
| ASPHALT AREA: | 36,133 S.F. |
| CONCRETE AREA: | 6,736 S.F. |

LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING WATER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED POWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CATCH CURB & GUTTER
- PROPOSED SPILL CURB & GUTTER
- PROPOSED TRANSITION CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPING AREA

SCALE: 1" = 20'

Scale in Feet

Hansen & Associates, Inc.
 Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Logan Ogden
 (435) 723-3491 (801) 399-4905 (435) 752-8272
 Celebrating over 60 Years of Business

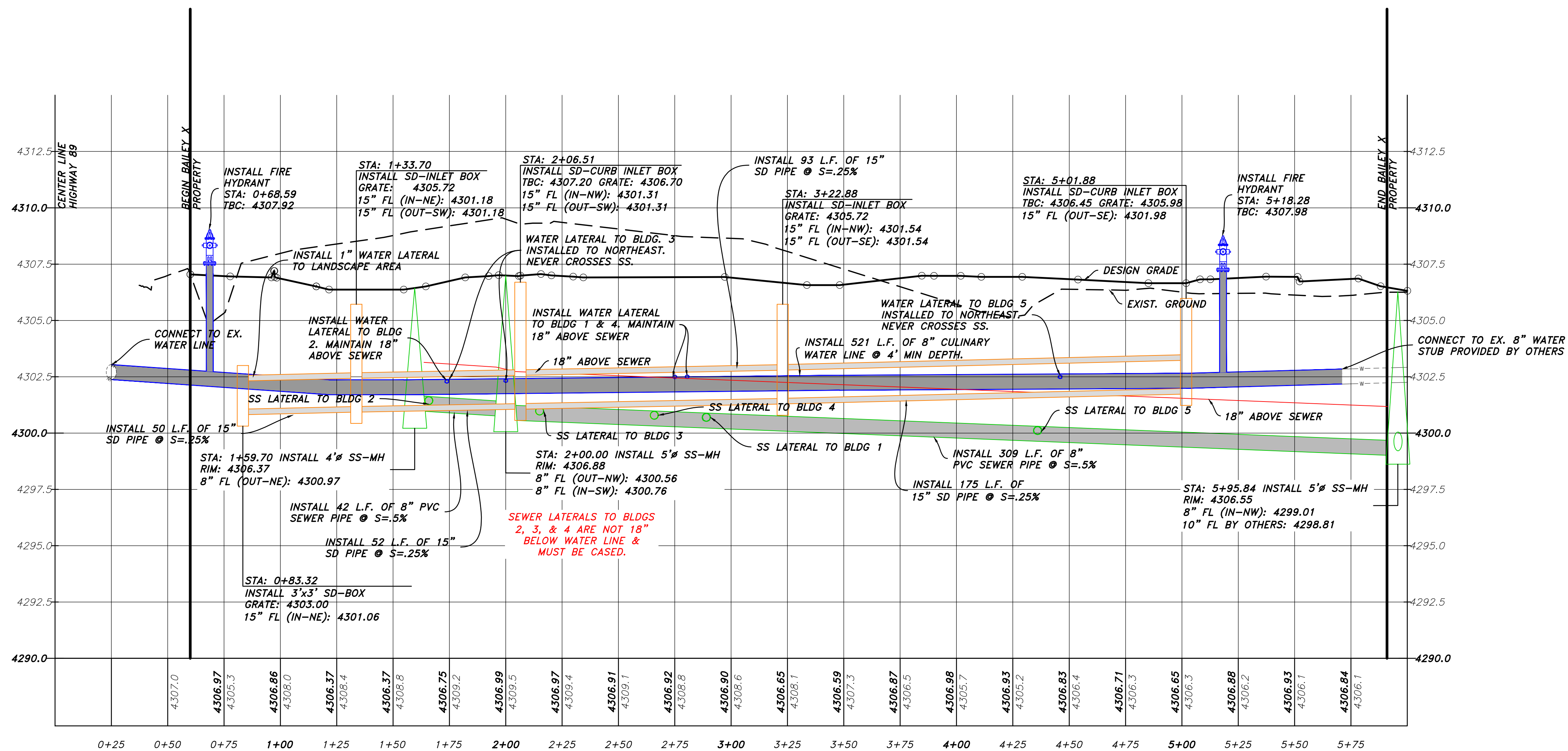
HARRISVILLE Business Condos
 APPROX. 2340 NORTH HIGHWAY 89
 HARRISVILLE
 A Part of the Northwest Quarter of Section 31
 Township 7 North, Range 1 West, S.L.B.&M.

Overall Site & Utility Plan For

Drawn By: BTC Date: 09/30/22
 Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = 20'
 Drawing File: 21-5-59 PP v19
 JOB NUMBER: 21-5-59

Sheet 2 of 7
 Sheets

OVERALL PROFILE




Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any others, and the contractors research, and others not of record or not shown on these plans.

NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.





















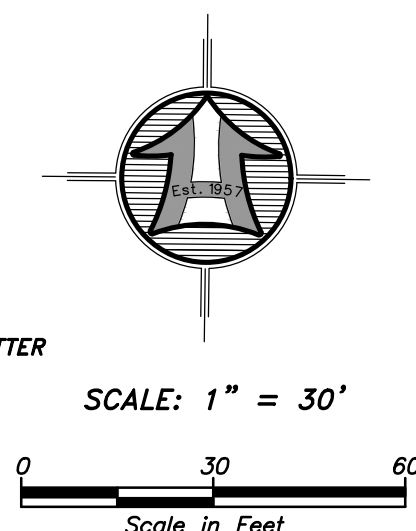
**Call
BEFORE YOU
Dig**

1-800-662-4111
UNDERGROUND SERVICE

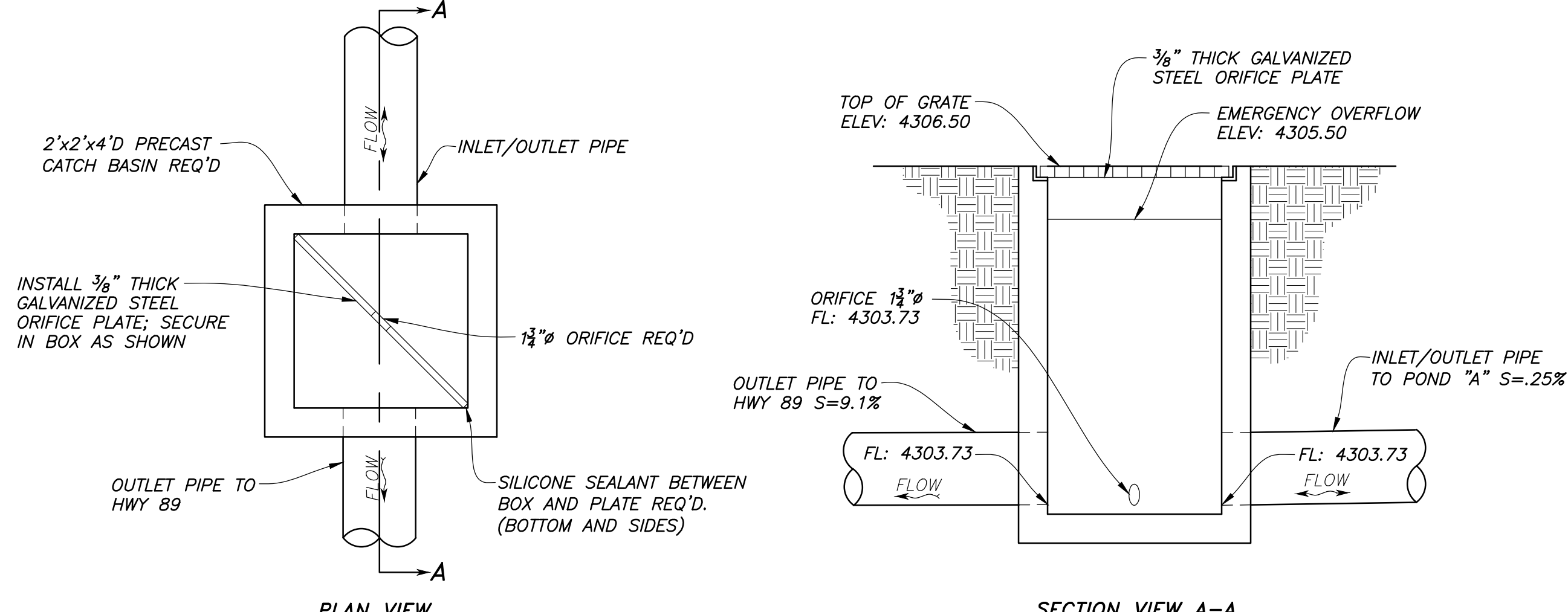
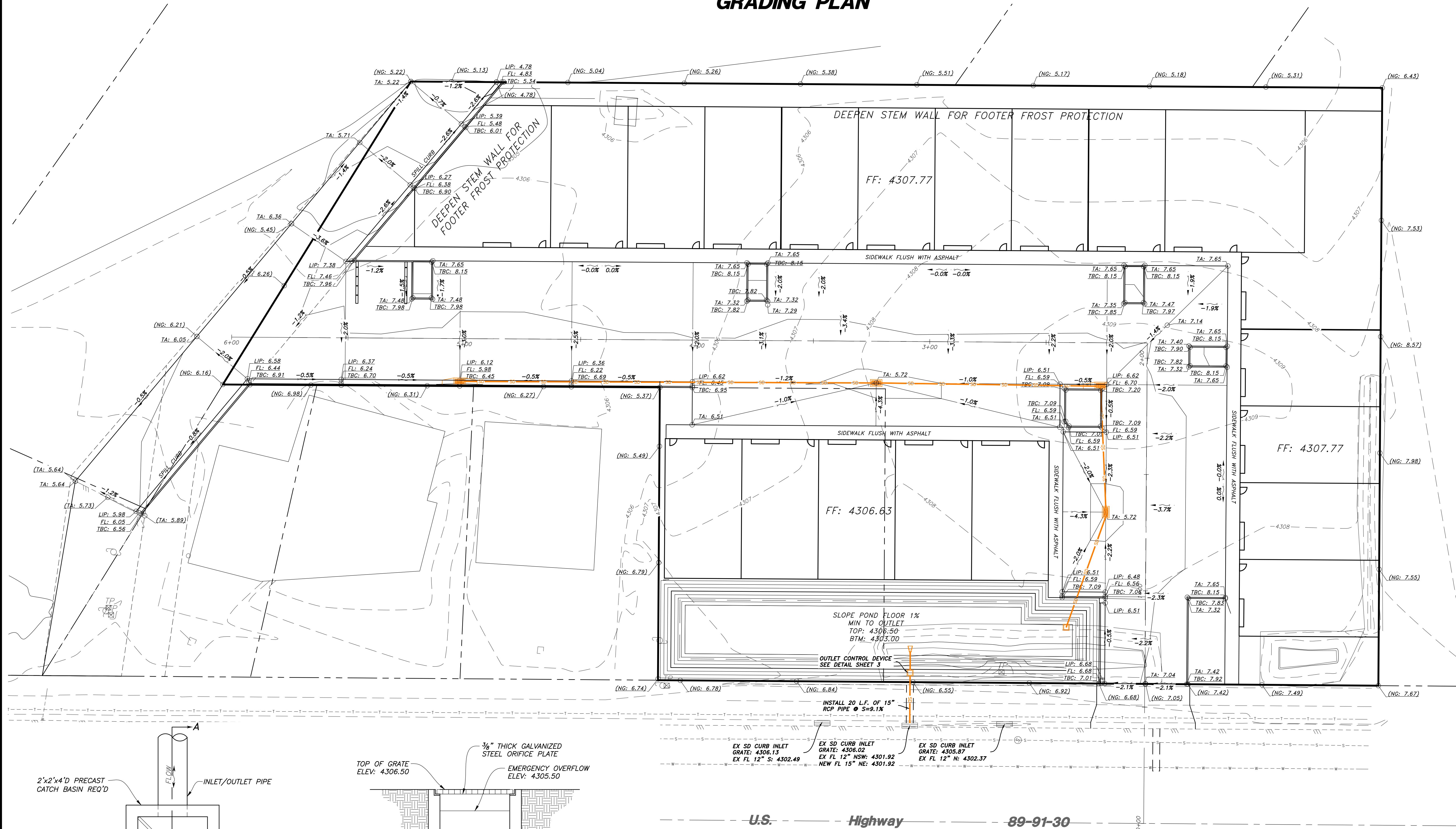
LEGEND:

- | | |
|--|--------------------------------------|
| | SUBDIVISION BOUNDARY |
| | PROPOSED SEWER LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING SEWER LINE |
| | EXISTING WATER LINE |
| | EXISTING SECONDARY WATER LINE |
| | EXISTING STORM DRAIN PIPE |
| | PROPOSED SEWER LINE |
| | PROPOSED WATER LINE |
| | PROPOSED GAS LINE |
| | PROPOSED POWER LINE |
| | PROPOSED TELEPHONE LINE |
| | PROPOSED SECONDARY WATER LINE |
| | PROPOSED STORM DRAIN PIPE |
| | SAW-CUT REQ'D. |
| | EXISTING FENCE |
| | EXISTING 5' CONTOUR |
| | EXISTING 1' CONTOUR |
| | EXISTING SEWER MANHOLE |

- | | |
|---|-----------------------------------|
|  | EXISTING STORM DRAIN MANHOLE |
|  | EXISTING STORM DRAIN INLET |
|  | EXISTING WATER METER |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING LIGHT POLE |
|  | PROPOSED SEWER MANHOLE |
|  | PROPOSED STORM DRAIN MANHOLE |
|  | PROPOSED STORM DRAIN INLET |
|  | PROPOSED WATER METER |
|  | PROPOSED FIRE HYDRANT |
|  | EXISTING CURB & GUTTER |
|  | EXISTING SIDEWALK |
|  | PROPOSED CATCH CURB & GUTTER |
|  | PROPOSED SPILL CURB & GUTTER |
|  | PROPOSED TRANSITION CURB & GUTTER |
|  | PROPOSED SIDEWALK |
|  | PROPOSED ASPHALT PAVEMENT |
|  | PROPOSED LANDSCAPING AREA |

[illegible]

GRADING PLAN



NOTES:
1. ALL PIPE CONNECTIONS TO BOX TO BE WATER TIGHT USING NON-SHRINK GROUT.

OUTLET CONTROL BOX
NOT TO SCALE

Drawn By: BTC
Designed By:
Checked By:
Approved By:
Scale: 1" = **
Drawing File: 21-5-59 PP v19
JOB NUMBER: 21-5-59

DATE: 09/30/22

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Consulting Engineers and Land Surveyors

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Brigham City Ogden Logan

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PROFESSIONAL ENGINEER

8541

766638

2202

JAMES B. FLINT

STATE OF UTAH

09/29/22

OVERALL GRADING PLAN FOR

Harrisville Business Condos

APPROX. 2340 NORTH HIGHWAY 89

HARRISVILLE

A Part of the Northwest Quarter of Section 31

Township 7 North, Range 1 West, S.L.B.&M.

Sheet

3

of

7

Sheets

LANDSCAPE PLAN



LANDSCAPE REQUIREMENTS

TOTAL PROJECT AREA:

98,839 S.F.

REQUIRED LANDSCAPING:

15% OF TOTAL AREA

LANDSCAPE AREA PROVIDED:

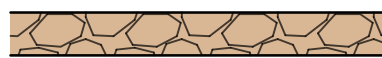
15,200 S.F.
(15%)


INTERIOR SIDE AND REAR SETBACKS NOT ADJACENT TO RESIDENTIAL ZONES MAY BE LANDSCAPED WITH DECORATIVE NON LIVING COVERS SUCH AS ROCKS, GRAVEL OR WOOD MULCHES THAT ALLOW WATER TO INFILTRATE THE GROUND AND REDUCE STORM WATER RUNOFF.


WHEN LANDSCAPED ISLANDS ARE REQUIRED, A MINIMUM OF ONE DECIDUOUS TREE SHALL BE PLANTED IN EACH ISLAND.


DECIDUOUS SHADE TREES SHALL HAVE A MIN. CALIPER SIZE OF ONE AND A HALF INCHES (1.5") AS DEFINED BY INDUSTRY STANDARDS.


EVERGREEN TREES SHALL BE A MIN. OF FOUR FEET (4') TALL. SHRUBS SHALL BE OF AT LEAST A ONE GALLON CONTAINER.


- 


LANDSCAPE ROCK (3,816 S.F.)
(3" DEEP OF 4" RIVER ROCK)
- 


LANDSCAPE GRASS (11,384 S.F.)
- 

DECORATIVE GRASS MAIDEN GRASS (18)
- 

KARL FORERSTER GRASS (17)
- 


RUSSIAN SAGE BUSH (25)
- 


SPIREA (14)
- 

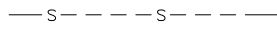
BLUE POINT JUNIPER EVERGREEN (6)
- 


CRIMSON KING NORWAY MAPLE (10)


LEGEND:


- 


SUBDIVISION BOUNDARY
- 


PROPOSED PROPERTY LINE
- 


EXISTING PROPERTY LINE
- 

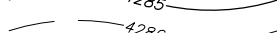
EXISTING SEWER LINE
- 


EXISTING WATER LINE
- 


EXISTING SECONDARY WATER LINE
- 


EXISTING STORM DRAIN PIPE
- 


PROPOSED SEWER LINE
- 


PROPOSED WATER LINE
- 


PROPOSED SECONDARY WATER LINE
- 

PROPOSED STORM DRAIN PIPE
- 

SAW-CUT REQ'D.
- 


EXISTING FENCE
- 


EXISTING 5' CONTOUR
- 


EXISTING 1' CONTOUR
- 


EXISTING SEWER MANHOLE
-


EXISTING STORM DRAIN MANHOLE


- 


EXISTING STORM DRAIN INLET
- 


EXISTING WATER METER
- 


EXISTING FIRE HYDRANT
- 


EXISTING LIGHT POLE
- 


PROPOSED SEWER MANHOLE
- 


PROPOSED STORM DRAIN MANHOLE
- 


PROPOSED STORM DRAIN INLET
- 


PROPOSED WATER METER
- 

PROPOSED FIRE HYDRANT
- 

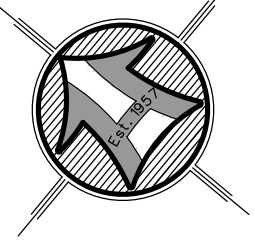
EXISTING CURB & GUTTER
- 

EXISTING SIDEWALK
- 

PROPOSED M-1 CURB & GUTTER
- 

PROPOSED SIDEWALK
- 

PROPOSED ASPHALT PAVEMENT

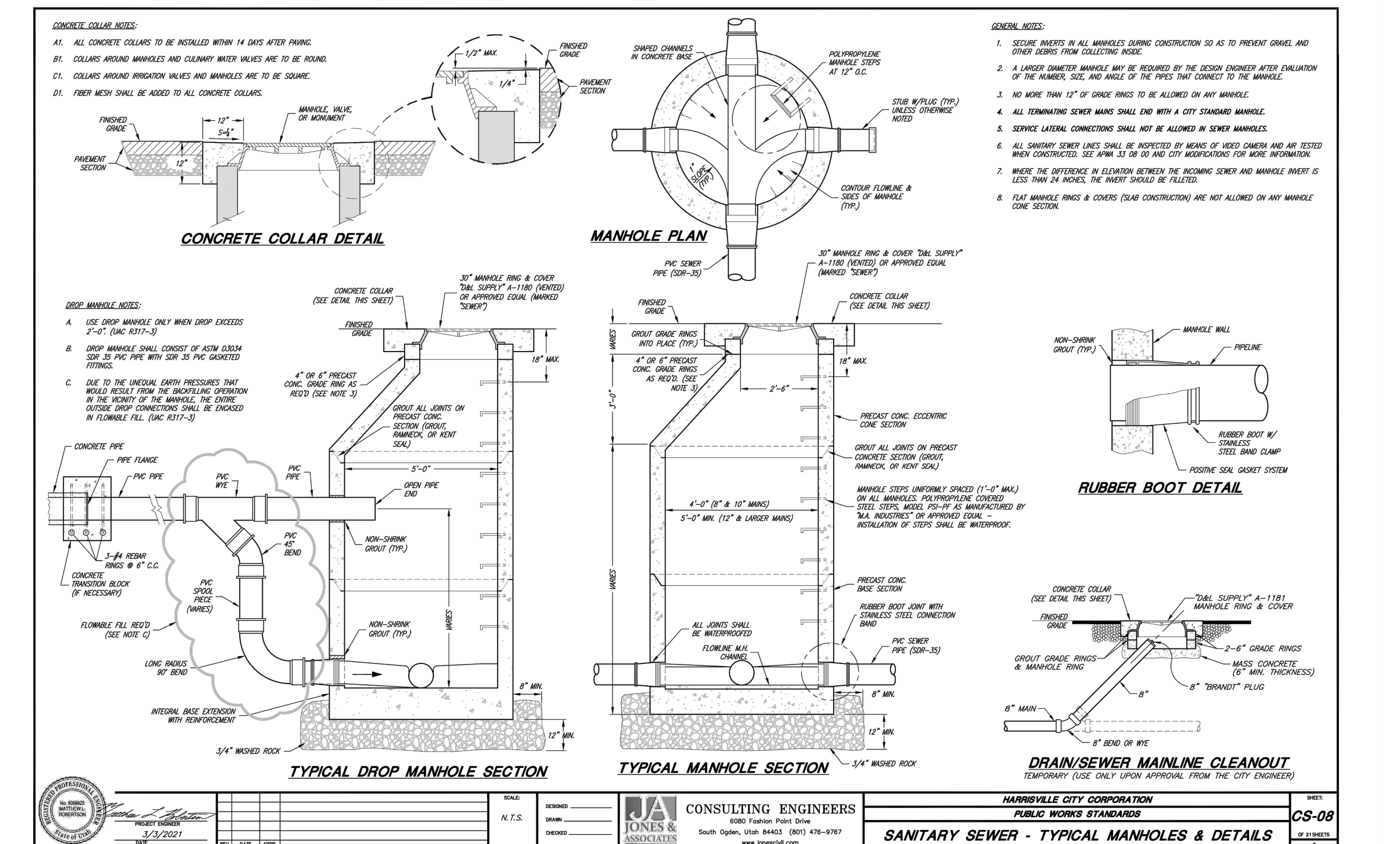
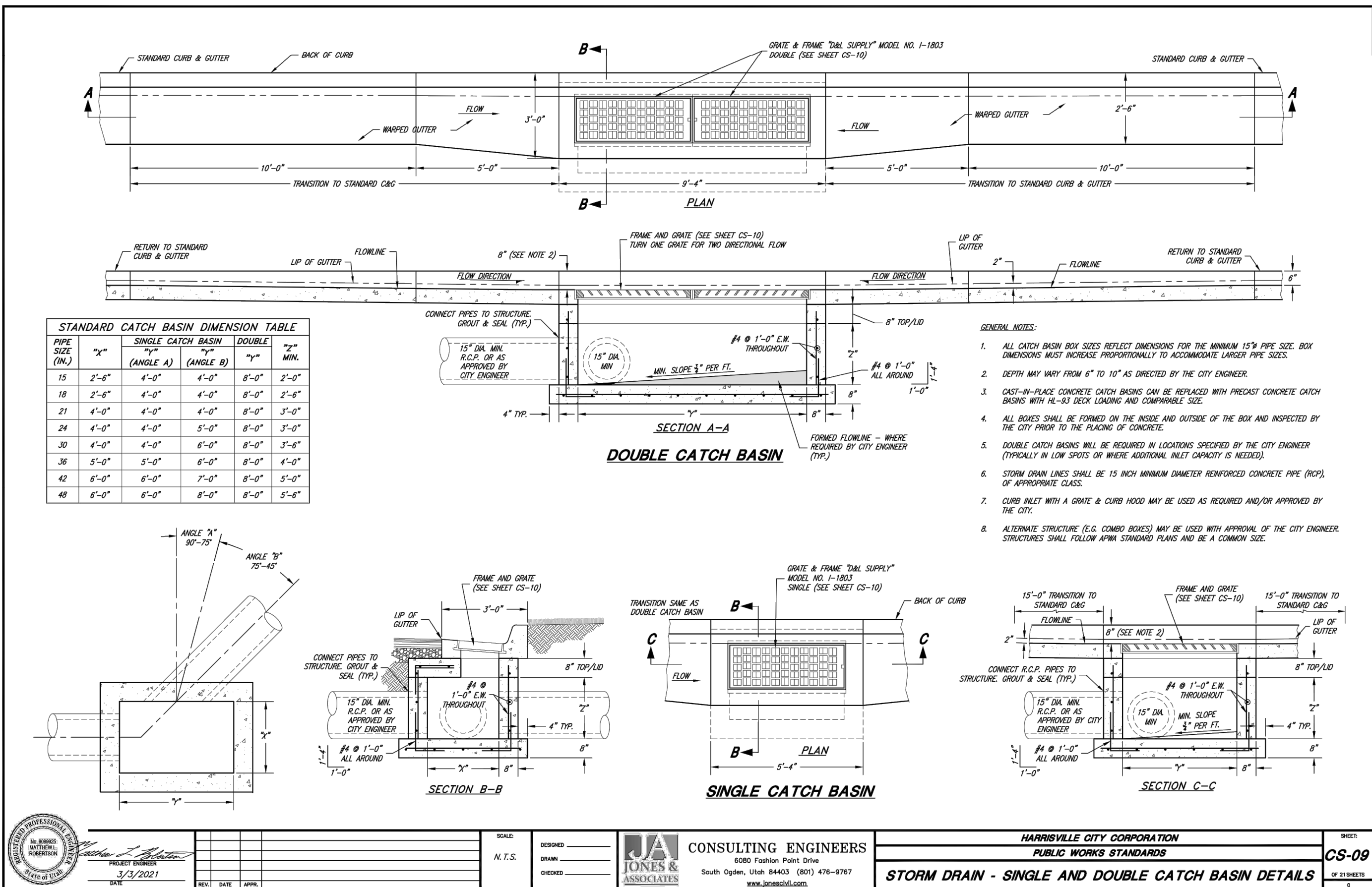
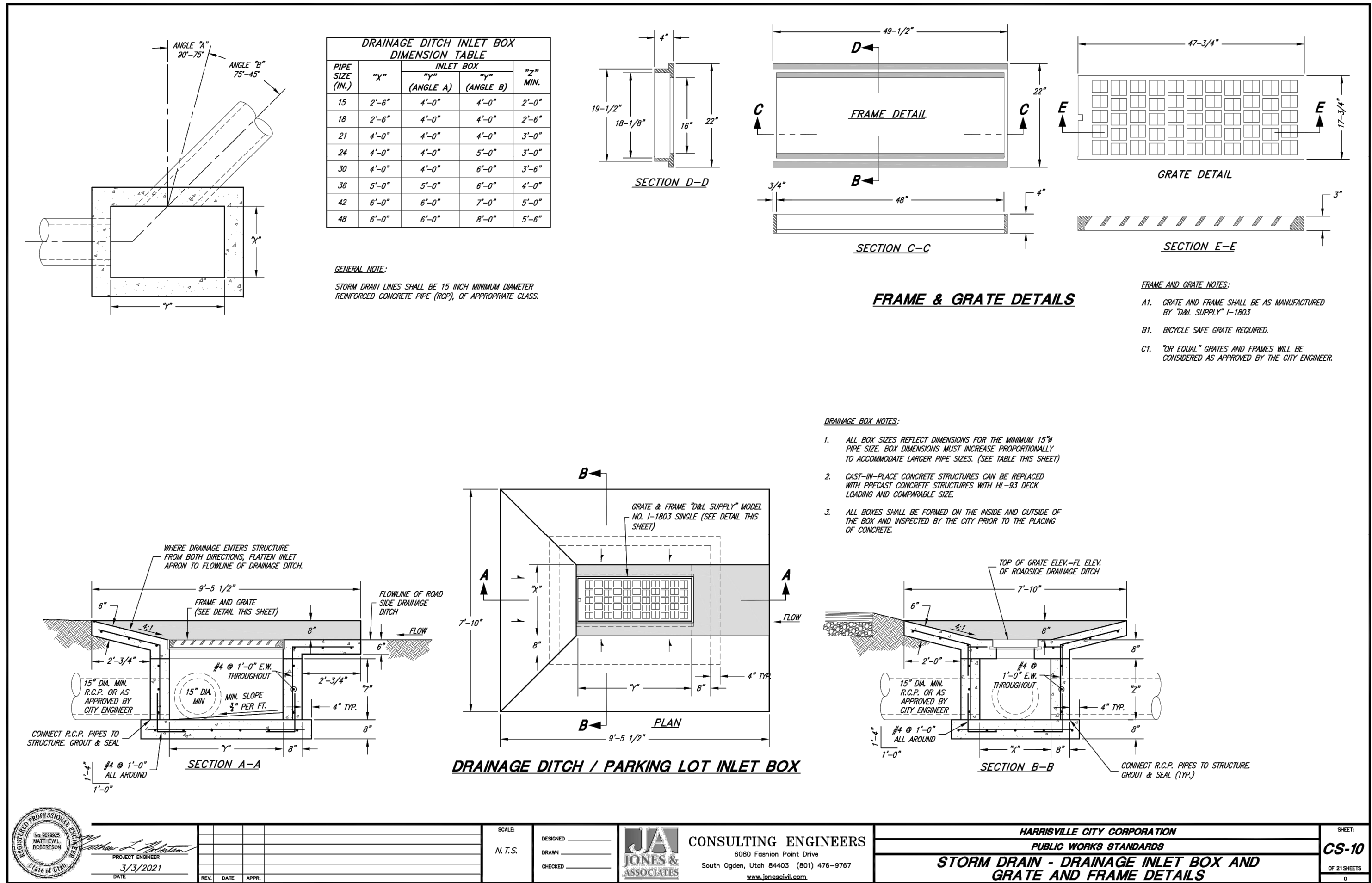
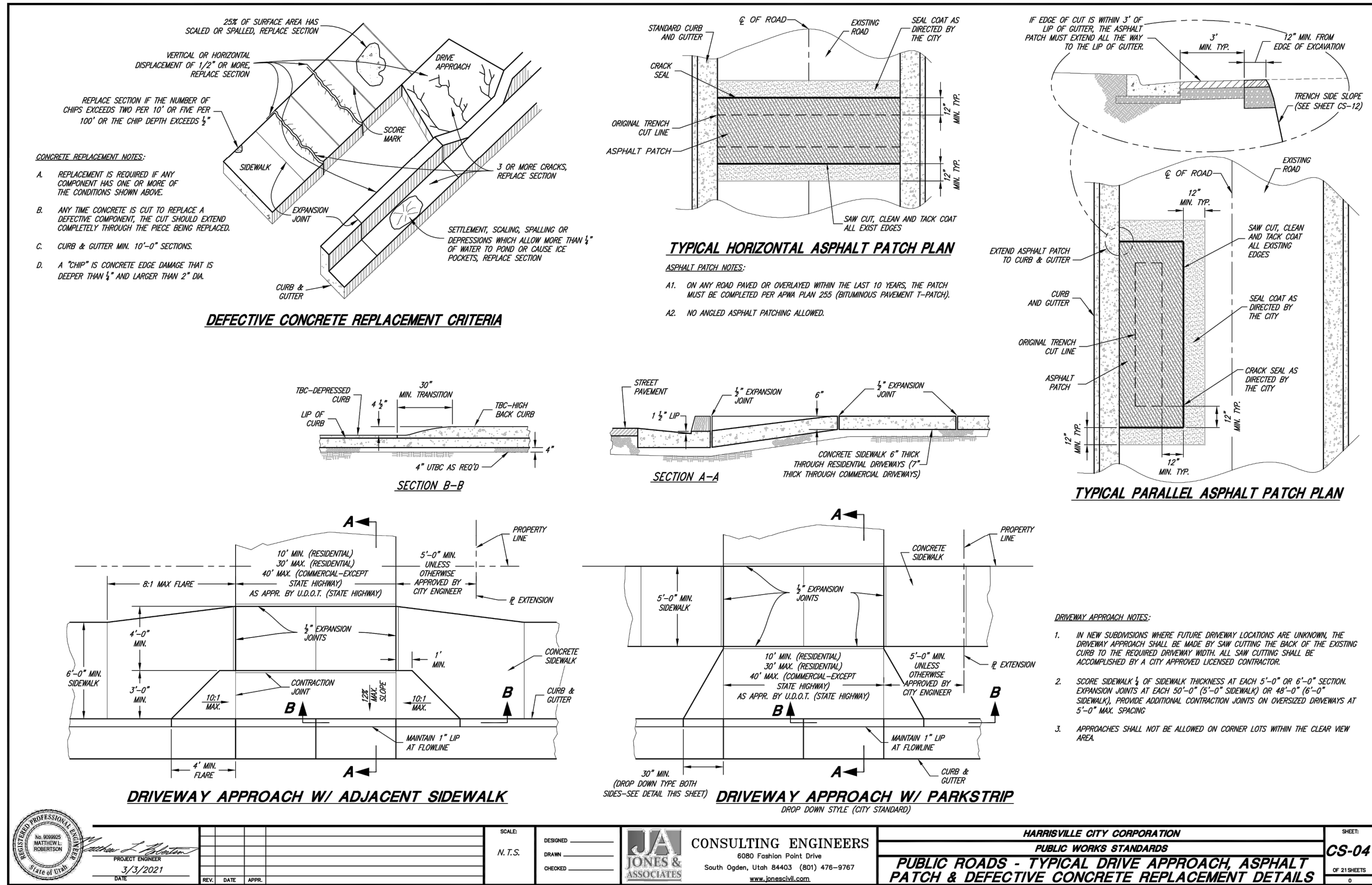


SCALE: 1" = 20'

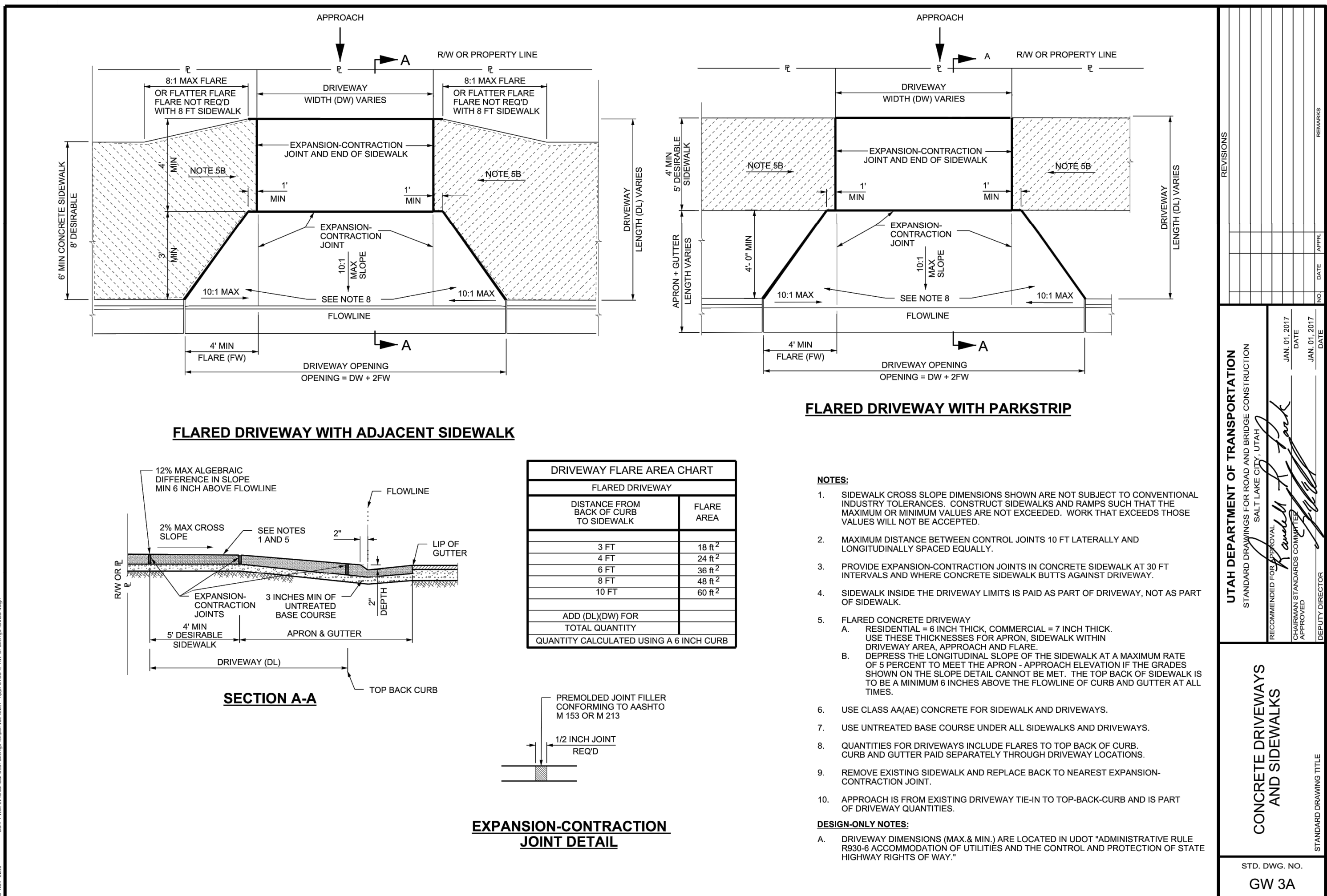
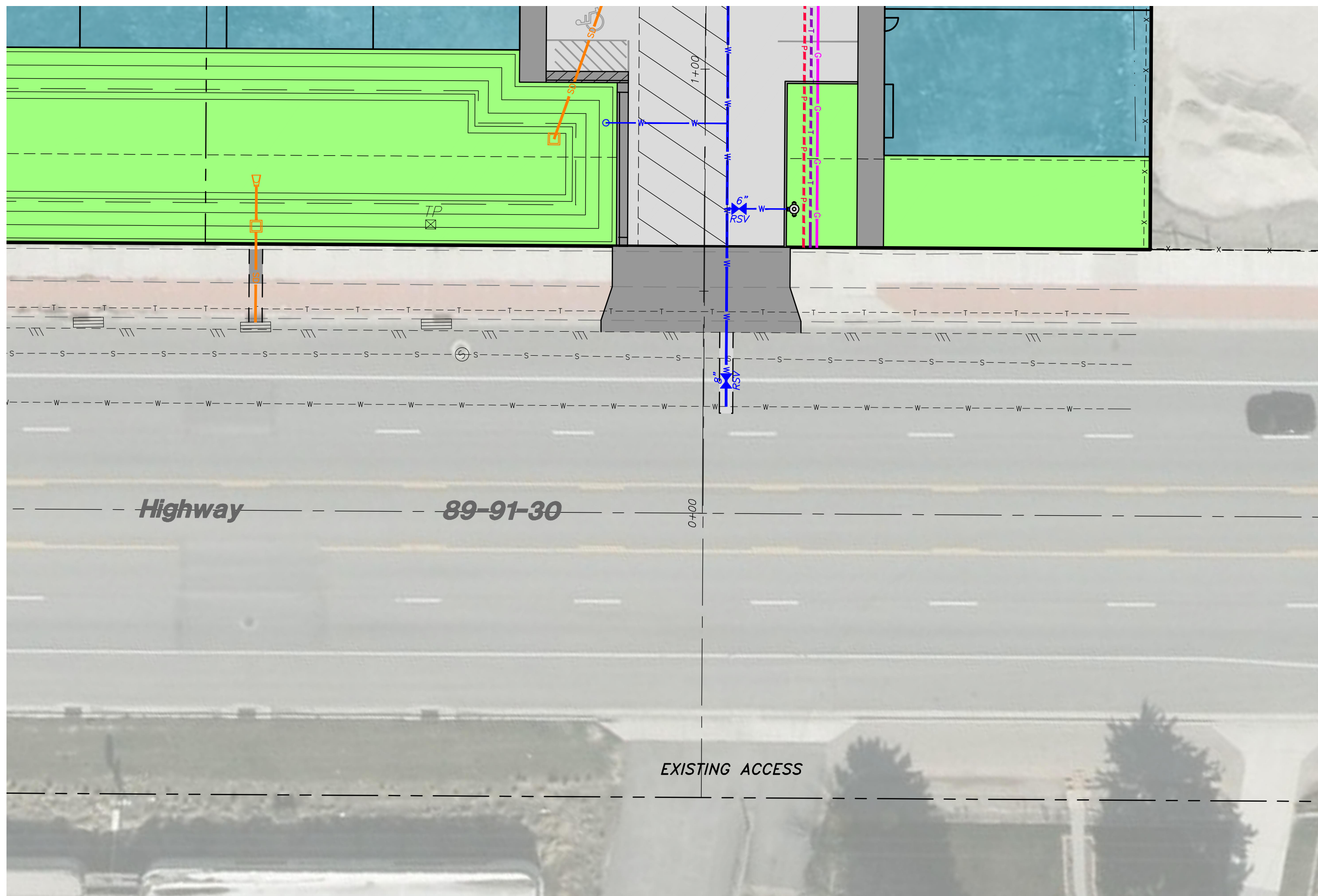
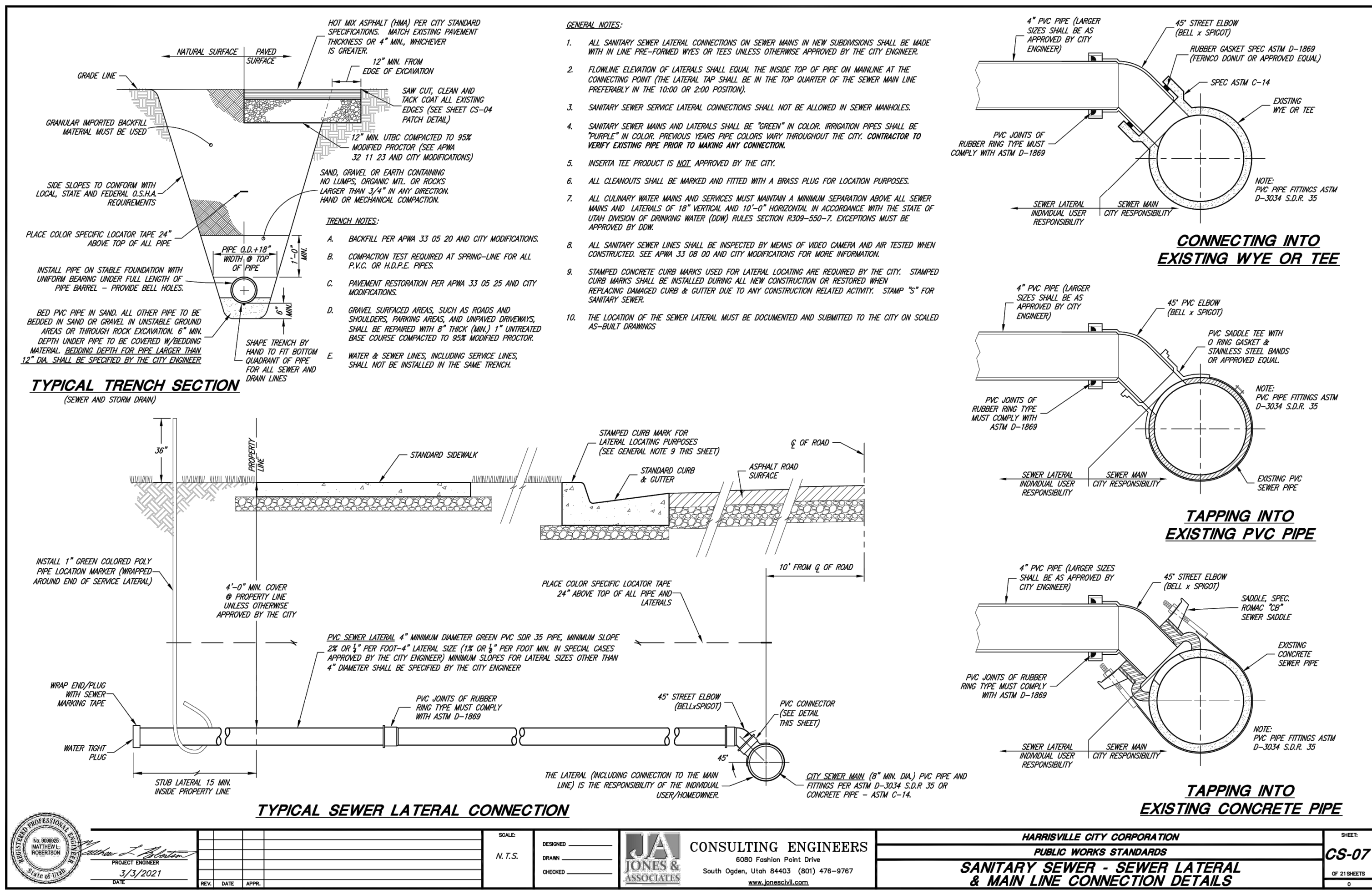
0 20 40

Scale in Feet

CITY STD. DETAILS



CITY & UDOT STD. DETAILS



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Drawn By: BTC Date: 09/30/22

Designed By: _____

Checked By: _____

Approved By: _____

Scale: 1" = 10'

Drawing File: 21-5-59 PP v19

JOB NUMBER: 21-5-59

STANDARD DETAILS FOR

Harrisville Business Condos

APPROX. 2340 NORTH HIGHWAY 89

HARRISVILLE

A Part of the Northwest Quarter of Section 31 Township 7 North, Range 1 West, S.L.B.&M.

Sheet 7 of 7 Sheets



Site Plan Requirements

Site Plan Application

Date / Time

06/10/2024

Developer's Full Name

Bailey V Properties LLC

Email Address

gennevalilla@gmail.com

City

Pleasant View

Zip Code

84414

Parcel #

17-066-0054 & 17-066-0055

Developer's Engineer

Hansen & Associates

Engineer's Phone

435-723-3491

Please upload a digital copy of your engineered site plan.

No file(s) uploaded

Type of Site Plan

New Site Plan

Phone Number

802-375-4057

Mailing Address

4215 N ALDER CREEK DR

State

Utah

Title of Project

Harrisville Business Condos

Approximate Address of Site

2350 N Hwy 89, Harrisville

Contact Person

Bret Cummings

Engineer's Email Address

bretc@haies.net

Signature

A handwritten signature in black ink, appearing to read 'Bret Cummings', with a stylized flourish at the end.



315 East 2550 North
North Ogden, UT 84414
(801) 782-8159

Deputy Chief Ryan Barker

June 11, 2024

RE: Harrisville Business Condos

As the Authority Having Jurisdiction (AHJ), I have been contacted about the proposed Harrisville Business Condos located at approx. 2340 North Hwy 89 Road Harrisville UT. North View Fire District covers the cities of Harrisville, Pleasant View, and North Ogden. This proposed subdivision falls within the boundaries of North View Fire District.

North View Fire District will provide the proposed development with both fire and EMS services.

Sincerely

Ryan Barker

Ryan Barker
Deputy Chief/ Fire Marshal
North View Fire District

February 9, 2022

Mark Bailey
Mark.bailey@ekbailey.com
Request: 8161130

Dear Mark Bailey:

Rocky Mountain Power will supply power to a site located at or near 2358 N Highway 89, Ogden, Utah.

- Applicant will apply for power by calling 1-888-221-7070
- Applicant or Developer will supply a signed, approved recorded property plat map with lot numbers, addresses, and section corners identified if applicable.
- Residential and Commercial Developer will supply an electronic copy of the subdivision by e-mail, (Auto-cad version 2011), to the estimator assigned to the project.
- Residential Subdivision Developer will pay all costs which are non-refundable above the \$750.00 per lot allowance according to line extension tariff, regulation 12.
- All single lot applicants will be subject to the line extension rules and regulation 12.
- Applicant is responsible to sign a contract after job is approved by Rocky Mountain Power management and pay any associated costs before work can be scheduled or materials ordered.
- Rocky Mountain Power engineering review may be required and may be subject to additional charges according to our filed line extension tariff, regulation 12.

If you have any questions regarding these provisions, please feel free to call me at 801-629-4434.

Respectfully,

Craig Garner
Estimator
Rocky Mountain Power



Central Weber Sewer Improvement District

June 12, 2024

Jennie Knight
City of Harrisville
363 W. Independence Blvd
Harrisville, UT 84404

SUBJECT: Tradesman Shops
Sanitary Sewer Service
Will Serve Letter

Jennie:

We have received a request from Chad Bailey for tradesman shops, a 44,622 Sq Ft. commercial business located at approximate address of 2360 North Hwy 89 Harrisville, Utah. This property is already annexed into the sewer district. We offer the following comments regarding Central Weber providing sanitary sewer service.

1. At this time, Central Weber has the capacity to treat the sanitary sewer flow from this subdivision. Inasmuch as system demand continuously changes with growth, this assessment is valid for three (3) years from the date issued on this letter..
2. If any connection is made directly into Central Weber's line the connection must be inspected by Central Weber while the work is being done. A minimum of 48-hour notice for inspection shall be given to Central Weber prior to any work associated with the connection.
3. Central Weber will not take ownership or responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. Central Weber's Wastewater Control Rules and Regulations state:

Prohibited Discharge into Sanitary Sewer. No person shall discharge, or cause or make a connection which would allow to be discharged, any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.



Central Weber Sewer Improvement District

5. Impact fees will need to be paid to Central Weber Sewer Improvement District no later than the issuance of any building permits.

If you have any further questions or need additional information, please let us know.

Sincerely,

Clay Marriott

Project Manager

CC: Kevin Hall, CWSID
Paige Spencer
Bill Morris
Chad Bailey
Geneva Blanchard

Attachments: 21-5-59 Harrisville Business



January 3, 2022

To whom it may Concern,

This letter is to verify that Comcast service is available to 2360 N Hwy 89, Harrisville, UT 84404. Comcast will generally provide all materials and labor to provide broadband services from the property line to the point of service, in a trench provided by the property owner.

The cost of installation, construction and provision of cable service will be part of the contract negotiations with the Owner of the Property or a designated representative. **This letter is not to be considered a contract or guarantee of service.** Furthermore, all permits, licenses and rights of access must be provided by the Owner prior to any provision of services.

Please be advised that we require a minimum of 90 days for project approvals and construction after we receive a signed contract if this is a private development.

Please contact Elysia Valdez at 801-401-3017 or JointTrench_Utah@comcast.com before opening utility trenches.

We look forward to working with you on this Project; please feel free to contact me with any questions or concerns.

Sincerely,

Luke Baxter
Comcast Cable
Luke_Baxter@Cable.Comcast.com
801 401-2516 office
9602 S 300 W
Sandy, Utah 84070

June 12, 2024

Tradeshops
2340 n Hwy 89
Harrisville, UT
ATTN: Bret Cummings

Dear Developer:

Re: Natural Gas Service Availability Letter

Natural gas can be made available to serve the Tradeshops (2340 N Hwy 89) development when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Dominion Energy' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,

Cody Randall
Pre-Construction Representative

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville City Planning Commission

FROM: Matt Robertson, City Engineer

**RE: ASCENSION LUTHERAN CHURCH SUBDIVISION 1ST AMENDMENT
Preliminary Plat Submittal**

Date: July 3, 2024

Our office has completed a review of the preliminary subdivision plat amendment for the referenced development located at 1105 N Washington Blvd. There are 2 lots in the current subdivision and this proposed subdivision amendment will adjust the property line between the two lots to allow for development of the vacant lot. This amended plat is being prepared to allow for the Family Promise Site Plan which is proposing to construct a new building on the site to the northwest of the existing church.

We have reviewed the preliminary plat and we recommend preliminary approval of the plat at this time with the following comments to be completely addressed prior to final approval from the City's Administrative Land Use Authority:

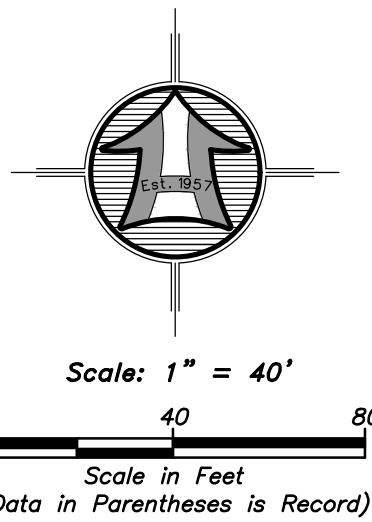
1. Submit the plat to the Weber County Surveyor's Office for review and receive approval of the plat from their office. Include a signature block for them on the plat.
2. Provide a lot address on the plat as provided by our office.

The comments listed in this memo are for the preliminary plat review only and additional comments and requirements will be provided as necessary on the final plat as the Developer works with the City toward final approval. Please let me know if you have any questions.

Ascension Lutheran Church Subdivision First Amendment

Amending Lots 1 and 2 of Ascension Lutheran Church Subdivision

Harrisville City, Weber County, Utah
A Part of the Southeast Quarter of Section 5, and the
Northeast Quarter of Section 8
Township 6 North, Range 1 West, Salt Lake Base & Meridian
January 2024



LEGEND

- Subject Property Line
- Interior Lot Lines
- Adjoining Property Line
- Previous Property Line
- Centerline
- Public Utility Easement (PUE)
- Fence Line
- Existing Street Monument
- Found rebar set by others
- Set 5/8"x24" Rebar With Cap
- Section Corner
- Calculated Street Monument

NOTE:

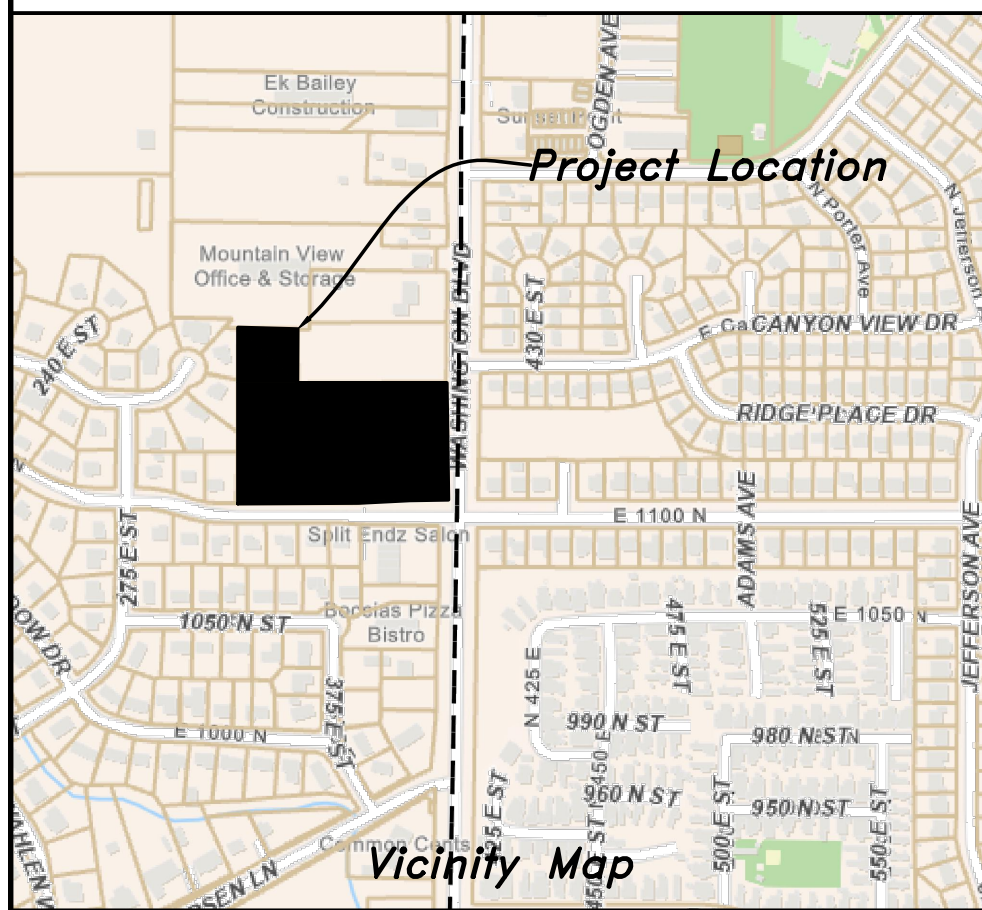
- All public utility easements (P.U.E.) are 10.0 foot wide unless otherwise noted.
- Rebar and cap set on all lot corners.
- Easements from original plat, Entry no. 1989447, have been vacated by City Ordinance and are not shown on this plat.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND, SUBDIVIDE, AND ESTABLISH AND SET THE PROPERTY CORNERS OF THE TWO LOT SUBDIVISION AS SHOWN AND DESCRIBED HEREON. THIS SURVEY WAS ORDERED BY NOLAN KARRAS. THE CONTROL USED TO ESTABLISH THE PROPERTY CORNERS WAS THE ASCENSION LUTHERAN CHURCH SUBDIVISION, ENTRY NO. 1989447, BROOK MEADOW SUBDIVISION, ENTRY NO. 1436389, BROOK MEADOW PHASE 2 SUBDIVISION, ENTRY NO. 1594659, CENTERLINE MONUMENTATION IN WASHINGTON BOULEVARD, AND THE EXISTING WEBER COUNTY SURVEYOR MONUMENTATION SURROUNDING SECTION 8, TOWNSHIP 6 NORTH, RANGE 1 WEST, S.L.B.&M.

THE BASIS OF BEARING IS BETWEEN THE FOUND OGDEN CITY MONUMENT FOUND AT THE INTERSECTION OF 1100 NORTH STREET AND WASHINGTON BOULEVARD AND THE FOUND OGDEN CITY MONUMENT AT THE INTERSECTION OF 1225 NORTH STREET AND WASHINGTON BOULEVARD WHICH BEARS NORTH 01°09'39" EAST, ASSUMED BEARING ROTATED TO MATCH PLAT BEARINGS.

NORTH QUARTER CORNER OF SEC. 8,
T. 6 N., R. 1 W., SLB&M
CALCULATED POSITION



Developer:
NOLAN KARRAS



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HARRISVILLE CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE HARRISVILLE CITY PLANNING COMMISSION ON THE _____ DAY OF _____, 2024.

CHAIRMAN, HARRISVILLE CITY PLANNING COMMISSION

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____, 2024.

WEBER COUNTY SURVEYOR

RECORD OF SURVEY#

HARRISVILLE CITY COUNCIL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF PUBLIC UTILITY EASEMENTS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COUNCIL MEMBERS OF HARRISVILLE CITY, WEBER COUNTY, UTAH THIS _____ DAY OF _____, 2024.

MAYOR

TITLE

ATTEST

HARRISVILLE CITY ENGINEER

APPROVED BY THE HARRISVILLE CITY ENGINEER ON
THE _____ DAY OF _____, 2024.

HARRISVILLE CITY ENGINEER

HARRISVILLE CITY ATTORNEY

I HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES PREREQUISITE TO APPROVAL BY THE ATTORNEY OF THE FOREGOING PLAT AND DEDICATIONS HAVE BEEN COMPLIED WITH. DATED THIS _____ DAY OF _____, 2024.

SIGNATURE

SURVEYOR'S CERTIFICATE

I, MATT PRETL, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND HAVE HEREBY SUBDIVIDED SAID TRACT INTO TWO (2) LOTS, KNOWN HEREFTER AS ASCENSION LUTHERAN CHURCH SUBDIVISION FIRST AMENDMENT IN HARRISVILLE CITY, WEBER COUNTY, UTAH, AND HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND, I FURTHER HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF HARRISVILLE CITY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2024.

MATT PRETL P.L.S.
UTAH LAND SURVEYOR LICENSE NO. 10437995



BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 5, AND THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 6 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF WASHINGTON BOULEVARD AND THE NORTH RIGHT-OF-WAY LINE OF 1100 NORTH STREET, POINT ALSO BEING THE NORTHEAST CORNER OF BROOK MEADOW SUBDIVISION, ENTRY NO. 1436389, LOCATED 66.00 FEET NORTH 89°37'36" WEST ALONG THE CENTERLINE OF 1100 NORTH STREET AND 40.00 FEET NORTH 00°47'10" EAST FROM THE CENTERLINE MONUMENT IN THE INTERSECTION OF 1100 NORTH STREET AND WASHINGTON BOULEVARD;

RUNNING THENCE ALONG THE NORTH AND EAST BOUNDARY OF SAID BROOK MEADOW SUBDIVISION THE FOLLOWING FOUR (4) COURSES; (1) NORTH 89°37'36" WEST 148.82 FEET; (2) SOUTH 86°26'56" WEST 102.28 FEET; (3) NORTH 89°37'36" WEST 311.65 FEET; AND (4) NORTH 01°12'28" EAST 139.60 FEET TO THE SOUTH BOUNDARY LINE OF BROOK MEADOW PHASE 2 SUBDIVISION, ENTRY NO. 1594659; THENCE ALONG THE SOUTH AND EAST BOUNDARY OF SAID BROOK MEADOW PHASE 2 SUBDIVISION THE FOLLOWING TWO (2) COURSES; (1) SOUTH 88°47'18" EAST 0.68 FEET; AND (2) NORTH 01°12'28" EAST 354.29 FEET TO THE SOUTH BOUNDARY OF THE DAVE GREEN SUBDIVISION, ENTRY NO. 3146584; THENCE SOUTH 88°50'21" EAST 168.27 FEET ALONG SAID SOUTH BOUNDARY TO THE NORTHWEST CORNER OF THE ZEPPES ITALIAN ICE FRANCHISE LLC PROPERTY, TAX ID. NO. 11-017-0007; THENCE ALONG THE WEST AND SOUTH LINE OF SAID ZEPPES ITALIAN ICE FRANCHISE LLC PROPERTY THE FOLLOWING TWO (2) COURSES; (1) SOUTH 01°09'39" WEST 140.86 FEET; AND (2) NORTH 89°57'18" EAST 393.09 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 01°09'39" WEST 346.57 FEET ALONG SAID WEST RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING. CONTAINING 5.052 ACRES.

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AS SHOWN ON THIS PLAT AND NAME SAID TRACT ASCENSION LUTHERAN CHURCH SUBDIVISION FIRST AMENDMENT AND HEREBY DEDICATE, GRANT AND CONVEY TO HARRISVILLE CITY, WEBER COUNTY, UTAH, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC UTILITY EASEMENTS FOR PUBLIC AND PRIVATE UTILITIES INCLUDING DRAINAGE AND IRRIGATION PURPOSES AS SHOWN HEREON. THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE. WE ALSO DEDICATE A 25 FOOT WIDE ACCESS, DRAINAGE & UTILITY EASEMENT ACROSS LOT 3 IN FAVOR OF LOT 4 AS SHOWN HEREON. WE ALSO DEDICATE A 35 FOOT UTILITY AND DRAINAGE EASEMENT ACROSS LOT 4 AS SHOWN HEREON. IN WITNESS WE HAVE HEREUNTO SET OUR SIGNATURE

THIS _____ DAY OF _____, 2024.

SHAREN I. KAMP - REGISTERED AGENT OF ASCENSION
LUTHERAN CHURCH

DATE:

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF WEBER)

ON THIS _____ DAY OF _____, 2024, PERSONALLY APPEARED BEFORE ME, SHAREN I. KAMP, WHO BEING BY ME DULY SWORN DID SAY AND ACKNOWLEDGE THAT SHE IS AN REGISTERED AGENT OF ASCENSION LUTHERAN CHURCH, A UTAH CORPORATION, WHICH CORPORATION IS THE OWNER OF THE REAL PROPERTY LISTED HEREIN, AND EXECUTED THE FOREGOING INSTRUMENT AS THE AUTHORIZED AGENT OF THE CORPORATION, AND THAT SAID AUTHORIZATION TO SIGN ON BEHALF OF THE CORPORATION CAME PURSUANT TO A RESOLUTION OF THE BOARD OF DIRECTORS, THE ARTICLES OF INCORPORATION, AND/OR THE CORPORATE BYLAWS.

Notary Public



Subdivision Application

Date / Time

06/28/2024

Number of Lots

1

Current Zoning

CP-2

Elevation of Property

4318

Approximate Address

1105 Washington Blvd, Harrisville, UT 84404

Phone Number

8015896187

Address

1105 Washinton Blvd

State

UT

Developer's Name

Nolan Karras for Family Promise of Ogden

Developer's Email Address

nolankarras@gmail.com

City

Roy

Zip Code

84067

Contact Person

Bret Cummings

Phone Number

801-399-4905

Phone Number

None Selected at this time

Name of Subdivision

Ascension Lutheran Plat 4

Acreage of Proposed Subdivision

1.2

Proposed Zoning

CP-2

Parcel(s) included in the subdivision. Separate parcel numbers by a comma.

113440003

Full Name

Ascension Lutheran Church

Email Address

pastordebra.ascension@gmail.com

City

Harrisville

Zip Code

84404

Developer's Phone Number

8015896187

Developer's Address

4695 South 1900 West, Suite 3

State

UT

Engineering Company

Hansen & Associates, Inc.

Email Address

bretc@haies.net

Name

None Selected at this time

Email Address

None Selected at this time

Subdivision Application Part 2

Secondary Water Available?

No

Sewer Connection Available?

No

Is Property in a Flood Hazard Area?

No

Future proposed trails?

No

Please upload your preliminary plat for review:

See attached: 240628 24-101 Family Promise 060724.pdf

See attached: 240628 24-101v19 AMENDED SUB 052024.pdf

Culinary Water Available?

No

Prescribed Easements?

No

Are there designated wetlands on the property?

No

Please upload will-serve letters from the following entities: Bona Vista Water, Central Weber Sewer, Pineview Water, Rocky Mountain Power, and Dominion Energy:

No file(s) uploaded

Developer's Signature**Property Owner's Signature**

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville Planning Commission

FROM: Matthew L. Robertson, P.E.
City Engineer

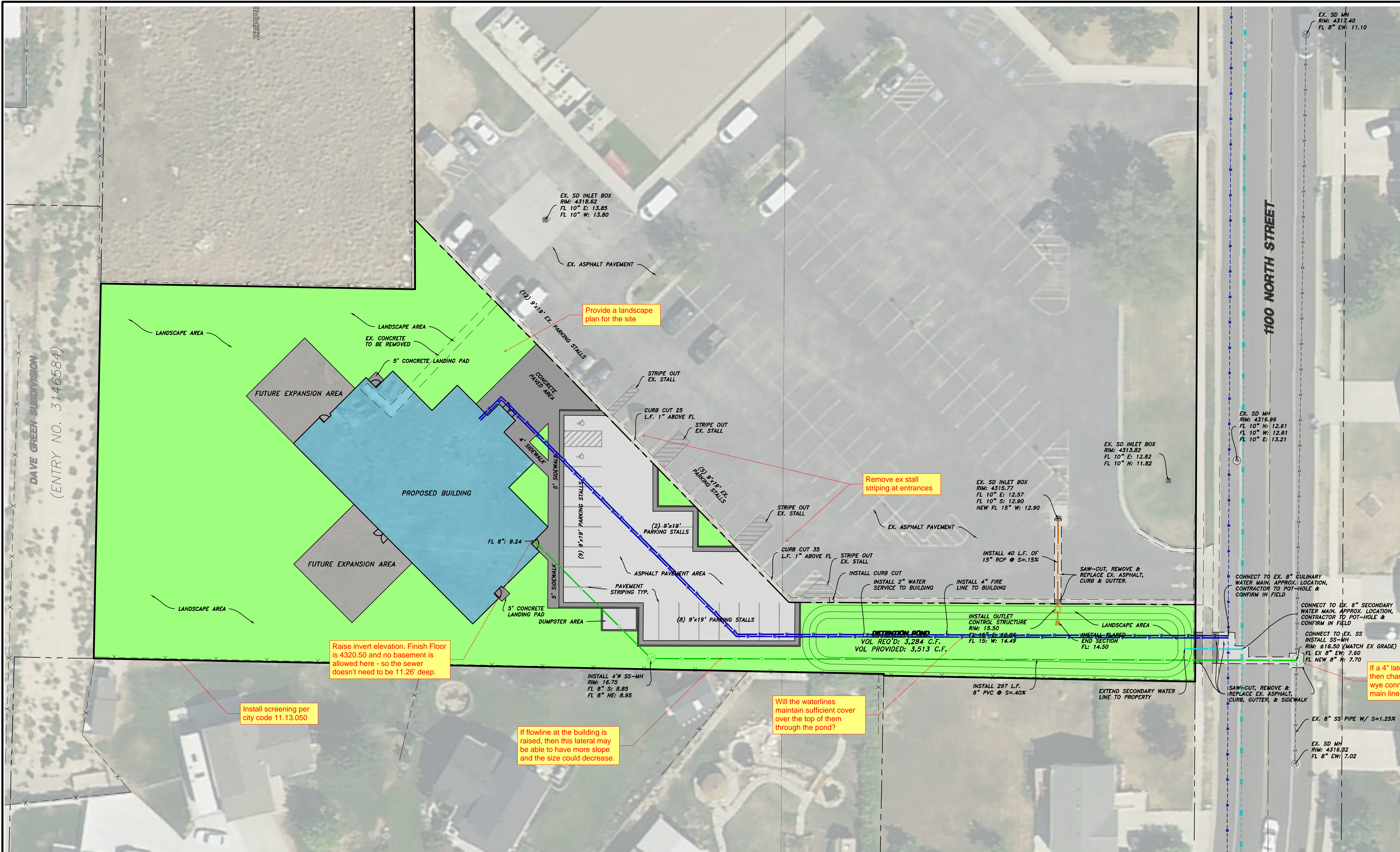
RE: **FAMILY PROMISE SITE PLAN**
Final Site Plan Review

Date: July 3, 2024

Our office has completed a review of the site plan improvements for the proposed Family Promise Site Plan located at approximately 330 East 1100 North, next to the Ascension Lutheran Church. A proposed new building, parking area, landscaped area, and other infrastructure improvements are proposed for this new site. The following items need to be addressed on the plans prior to beginning any construction or issuance of any permits:

1. Obtain final approval from Bona Vista Water and Pineview Water for the new culinary and secondary water services being installed to the site.
2. Obtain site plan approval from North View Fire District.
3. Provide a landscape plan for the new site.
4. Update the sewer plan to show a 4" sewer lateral being run from the building if the sewer elevation can be raised at the building. The 4" lateral should connect to the main without a manhole. See red-line comments on the plans.
5. Move the water service lines locations to not be under the bottom of the detention pond to ensure that they have enough cover to protect from freezing.
6. Remove the striping of existing parking stalls at the entrances to the new parking lot.
7. Show the proposed contours on the grading plan and show how runoff will be kept on the site and not flow onto the neighboring properties to the west, particularly near the southwest corner of the new building.
8. Show how the parking lot runoff will be directed to the detention basin and make sure that the floor of the detention basin has a minimum 1% slope to the outlet.
9. Show the detention basin calculations and clarify the elevations of the outlet pipe and the elevations of the basin bottom and top.
10. Provide screening between the commercial zone per Section 11.13.050 of the City Code.
11. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State.

Prior to construction, the Developer and Contractor must hold a pre-construction meeting with City staff. Should you any questions, please let us know.



Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call BEFORE YOU Dig

1-800-662-4111
UNDERGROUND SERVICE

LEGEND:

| | |
|-------------------------------|------------------------------|
| SUBDIVISION BOUNDARY | EXISTING STORM DRAIN INLET |
| PROPOSED PROPERTY LINE | EXISTING WATER METER |
| EXISTING PROPERTY LINE | EXISTING FIRE HYDRANT |
| EXISTING SEWER LINE | EXISTING LIGHT POLE |
| EXISTING WATER LINE | PROPOSED SEWER MANHOLE |
| EXISTING SECONDARY WATER LINE | PROPOSED STORM DRAIN MANHOLE |
| EXISTING STORM DRAIN PIPE | PROPOSED STORM DRAIN INLET |
| PROPOSED SEWER LINE | PROPOSED WATER METER |
| PROPOSED WATER LINE | PROPOSED FIRE HYDRANT |
| PROPOSED SECONDARY WATER LINE | EXISTING CURB & GUTTER |
| PROPOSED STORM DRAIN PIPE | EXISTING SIDEWALK |
| SAW-CUT REQ'D. | PROPOSED CATCH CURB & GUTTER |
| EXISTING FENCE | PROPOSED SPILL CURB & GUTTER |
| EXISTING 1' CONTOUR | PROPOSED SIDEWALK |
| EXISTING SEWER MANHOLE | PROPOSED ASPHALT PAVEMENT |
| EXISTING STORM DRAIN MANHOLE | |

SCALE: 1" = 20'

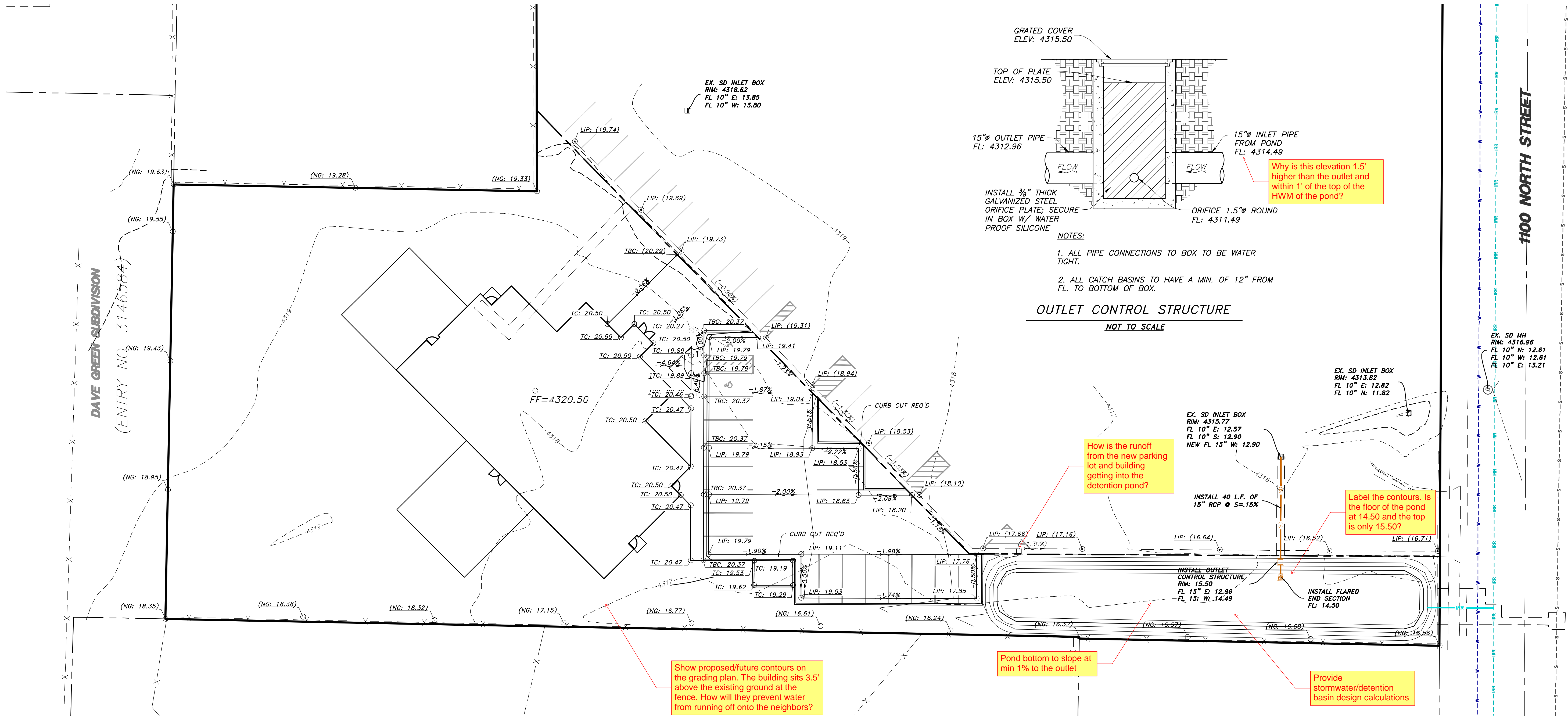
Scale in Feet

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Drawn By: BTC Date: 06/07/24
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = **
Drawing File: 24-101v23 CP.dwg
JOB NUMBER: 24-101

FAMILY PROMISE
SITE & UTILITY PLAN FOR
1103 N WASHINGTON BLVD
HARRISVILLE, WEBER COUNTY, UTAH
A Part of the Southeast Quarter of Section 5
Township 6 North, Range 1 West, S.L.B.&W.

Sheet
2
of
4
Sheets



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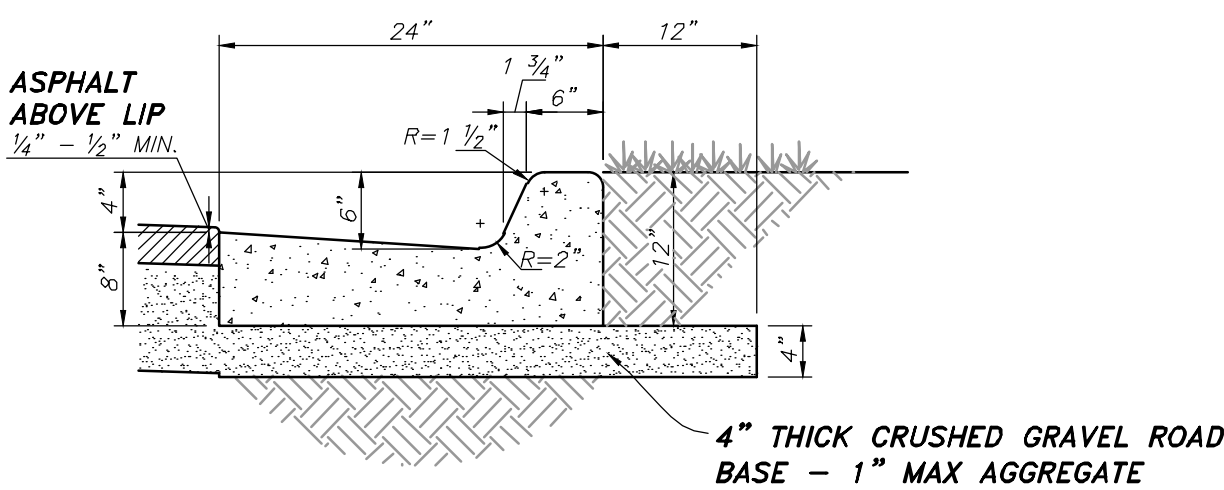
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UNDERGROUND SERVICE

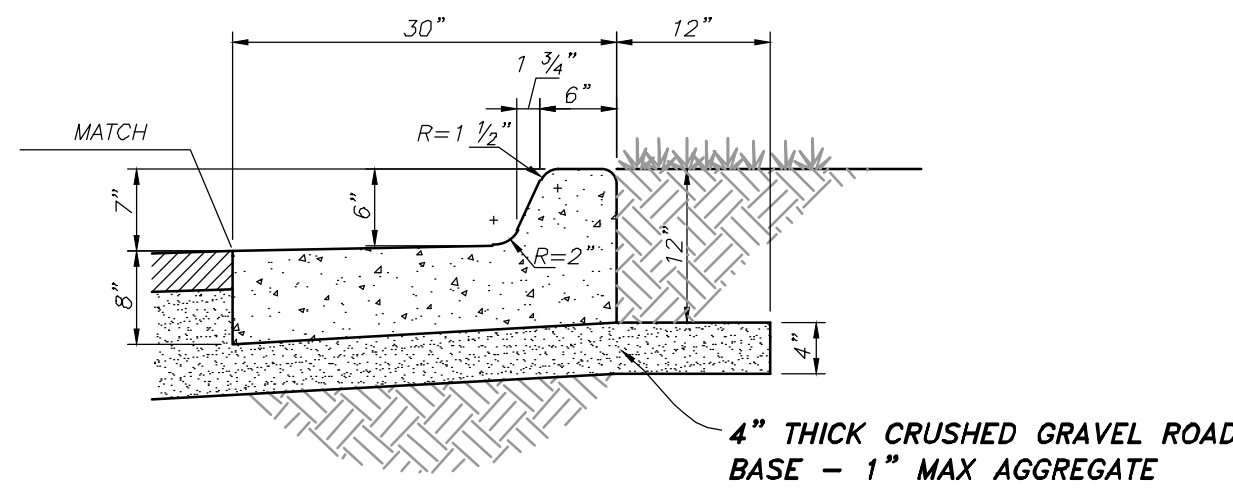
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CONCRETE TO BE 4000 PSI 28 DAY STRENGTH
4" MAX. SLUMP; AIR 6% ± 1½%

CATCH CURB & GUTTER SECTION
NOT TO SCALE



CONCRETE TO BE 4000 PSI 28 DAY STRENGTH
4" MAX. SLUMP; AIR 6% ± 1½%

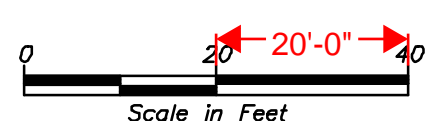
SPILL CURB & GUTTER SECTION
NOT TO SCALE

LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE

- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- EXISTING SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
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- EXISTING SIDEWALK
- PROPOSED CATCH CURB & GUTTER
- PROPOSED SPILL CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT

SCALE: 1" = 20'



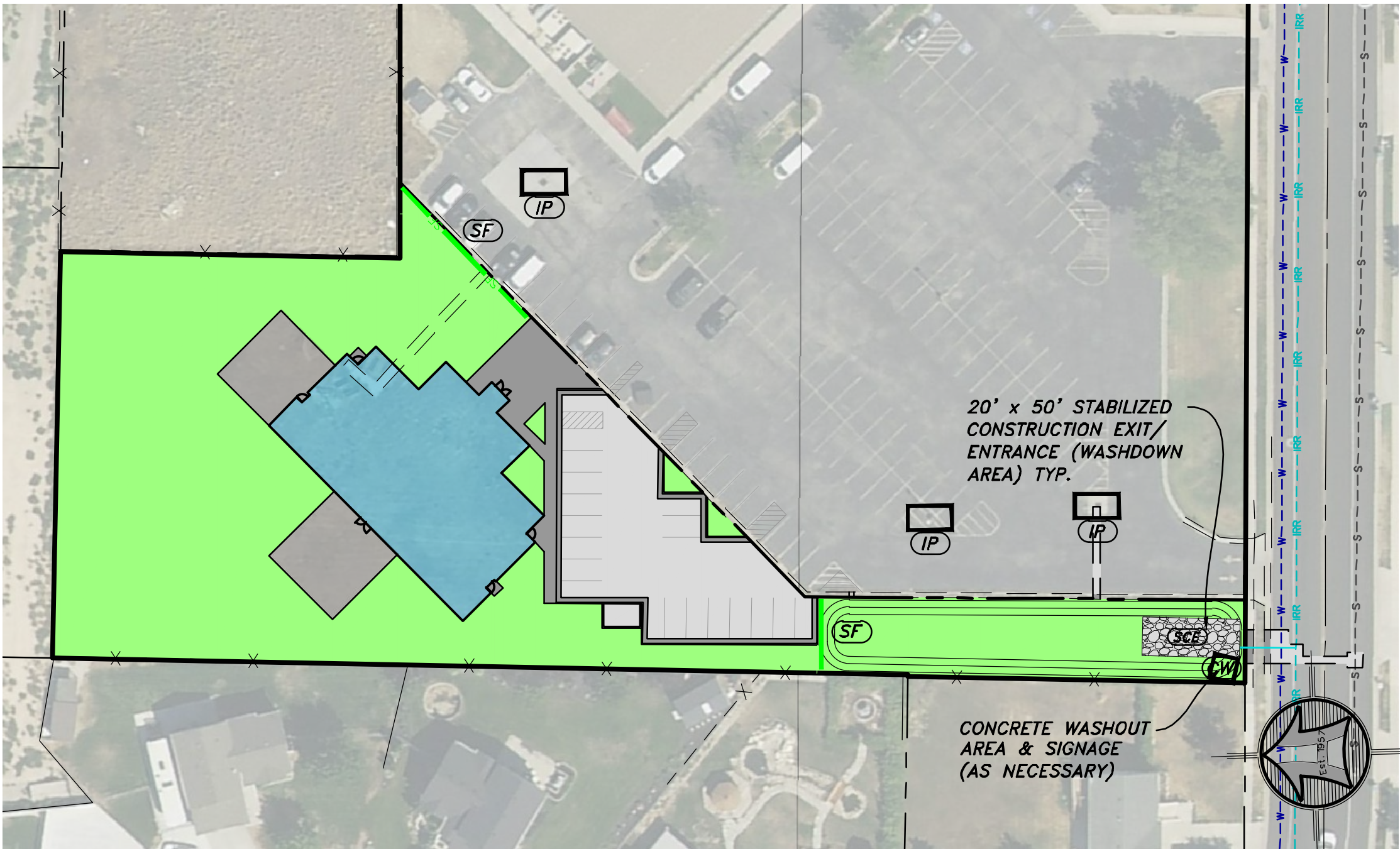
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Drawn By: BTC Date: 06/07/24
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = 20'
Drawing File: 24-101v23 CP.dwg
JOB NUMBER: 24-101

GRADING PLAN FOR
FAMILY PROMISE
1103 N WASHINGTON BLVD
HARRISVILLE, WEBER COUNTY, UTAH
A Part of the Southeast Quarter of Section 5
Township 6 North, Range 1 West, S.L.B.&M.

Sheet
3
of
4
Sheets



SWPPP PLAN

LOCATION:
LOCATION: HARRISVILLE, WEBER COUNTY, UTAH
SECTION 5, TOWNSHIP 6 NORTH, RANGE 1 WEST, SLB&M
LATITUDE: 41°16'42" N LONGITUDE: 111°58'17" W
APPROXIMATE ELEVATION: 4318'

PROJECT DATA:
TAX ID #: 113440002
PARCEL ACREAGE: 1.13 ACRES
NOLAN KARRAS

OVERVIEW:
THE PROJECT CONSISTS OF THE CONSTRUCTION OF 1 BUILDING AND A PARKING LOT. CONSTRUCTION WILL ALSO CONSIST OF UTILITY CONNECTIONS AND INSTALLATION, STORM DRAIN DETENTION AND SITE GRADING. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE SOUTH BOUNDARY OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE ENTRANCE/EXIT.

MAINTENANCE/RECORD-KEEPING:
STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF HARRISVILLE CITY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY HARRISVILLE. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS HARRISVILLE CITY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING HARRISVILLE CITY APPROVAL.

SWPPP PHASING – ORDER OF WORK:
PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS, AND INLET PROTECTION.
PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS.
PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.



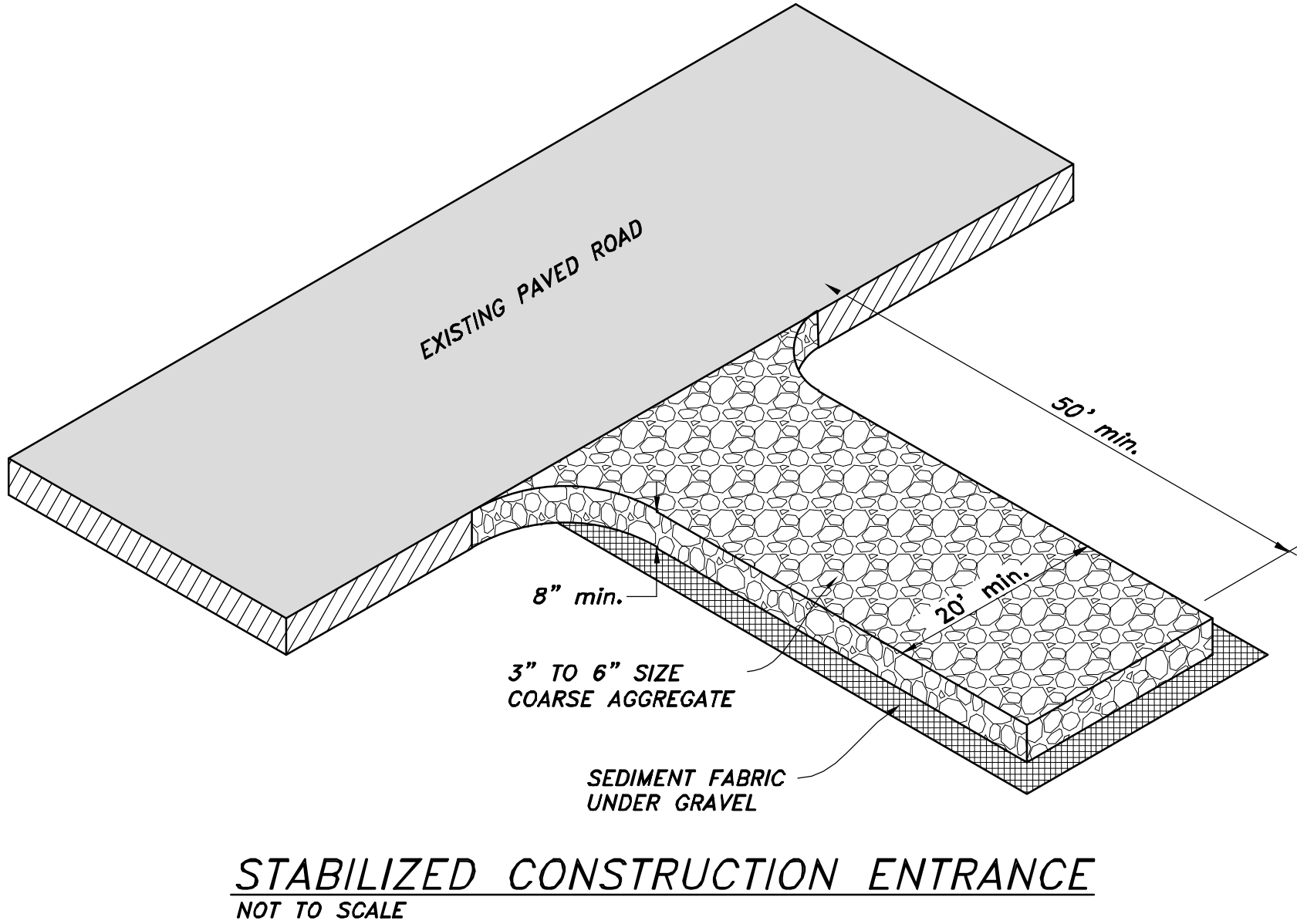
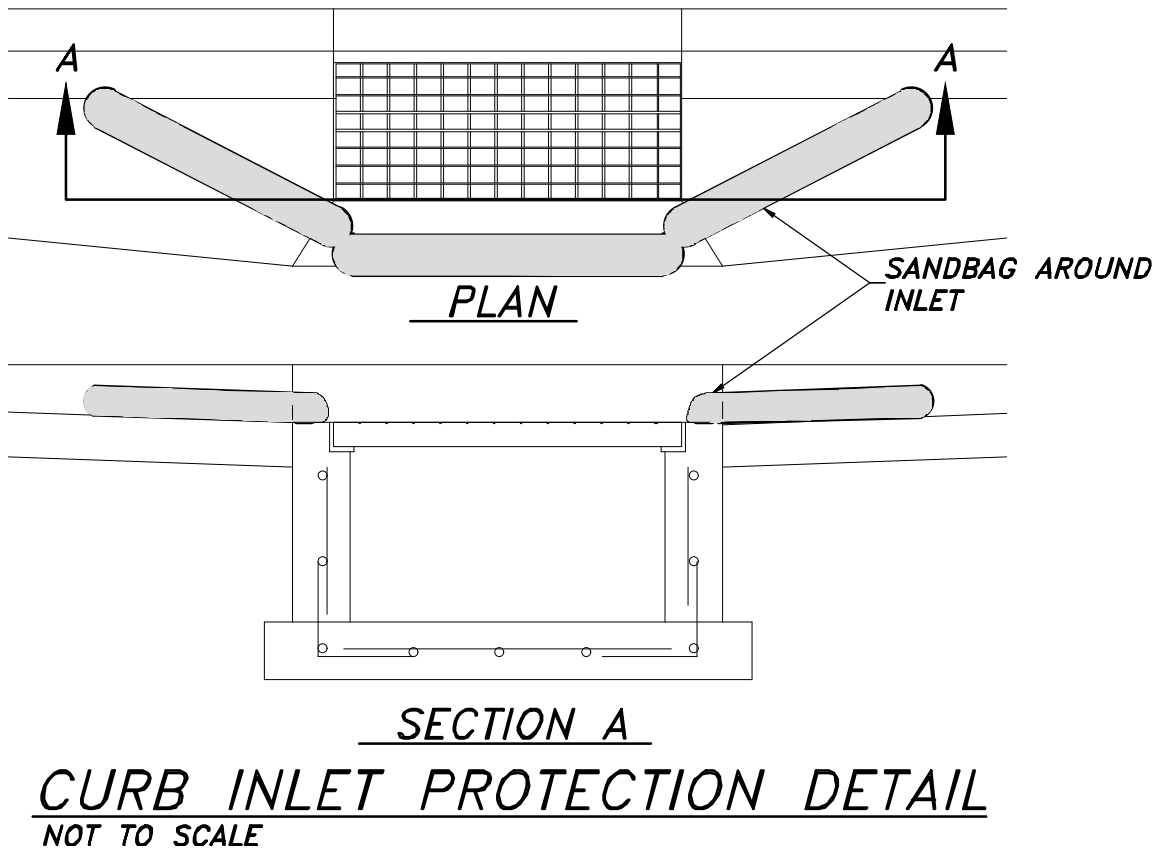
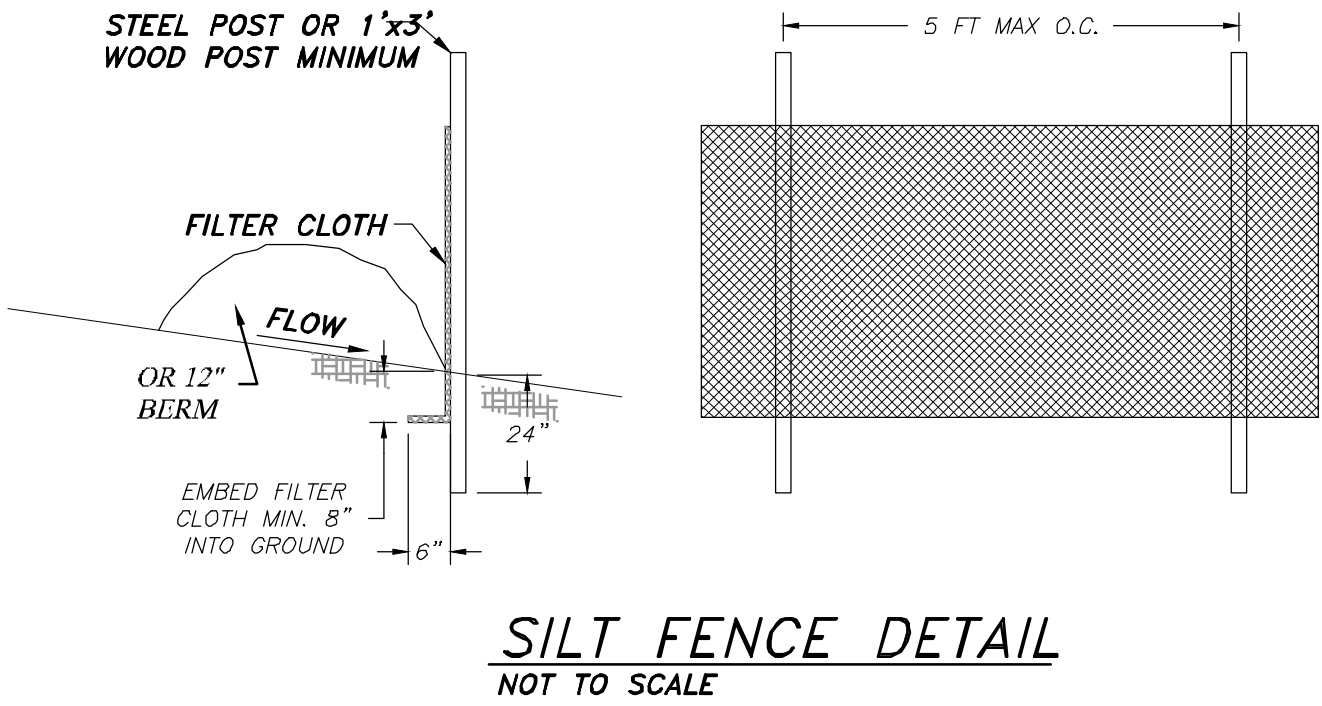
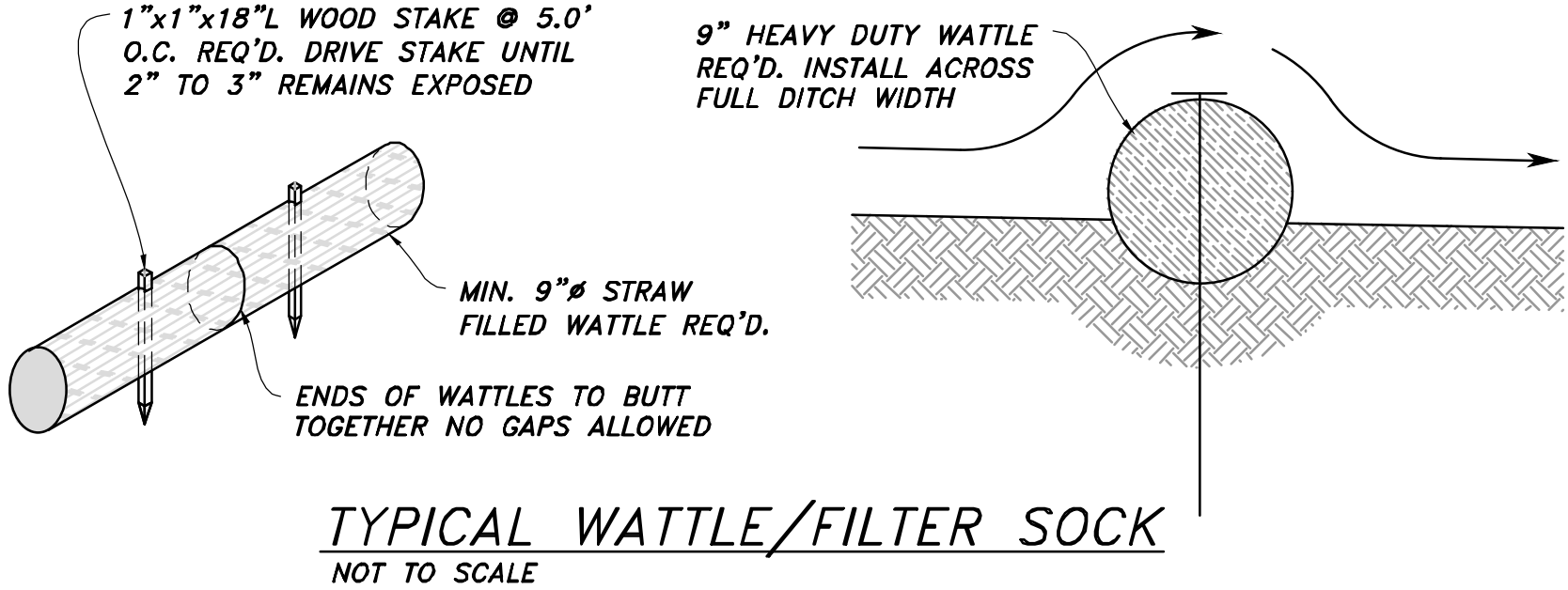
CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:
INSTALLATION & MAINTENANCE PER SERVICE AGREEMENT.
NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.

- LABELS**
- (SF) – SILT FENCE OR BERM
 - (SCE) – STABILIZATION CONSTRUCTION ENTRANCE
 - (IP) – INLET PROTECTION
 - (CW) – CONCRETE WASHOUT

- LEGEND**
- PROPERTY BOUNDARY LINE
 - SILT FENCE OR BERM REQ'D
 - TRACKING PAD
 - CONCRETE WASHOUT AREA & SIGNAGE
 - INLET PROTECTION

- QUANTITIES**
- SILT FENCE/BERM – 110 LF
 - STABILIZED CONSTRUCTION ENTRANCE – 1
 - INLET PROTECTION – 3
 - CONCRETE WASHOUT – 1



STABILIZED CONSTRUCTION ENTRANCE NOTES:
INSTALLATION/APPLICATION CRITERIA:
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".
LIMITATIONS:
1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.
MAINTENANCE:
1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.



Site Plan Requirements

Site Plan Application

Date / Time

06/28/2024

Developer's Full Name

Nolan Karras for Family Promise of Ogden

Email Address

nolankarras@gmail.com

City

Roy

Zip Code

84067

Parcel #

113440003

Developer's Engineer

Hansen & Associates Inc.

Engineer's Phone

801-399-4905

Please upload a digital copy of your engineered site plan.

No file(s) uploaded

Type of Site Plan

New Site Plan

Phone Number

801-589-6187

Mailing Address

4695 South 1900 West, Suite 3

State

UT

Title of Project

Family Promise of Ogden

Approximate Address of Site

1100 North Washington, Harrisville, UT

Contact Person

Bret Cummings

Engineer's Email Address

538 North Main, Brigham City, UT 84302

Signature

A handwritten signature in black ink, appearing to read 'Nolan Karras'.

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville Planning Commission

FROM: Matthew L. Robertson, P.E.
City Engineer

RE: **ELITE 3 CONSTRUCTION SITE PLAN**
Final Site Plan Review

Date: July 3, 2024

Our office has completed a review of the site plan improvements for the proposed Elite 3 Construction Site Plan located at approximately 1597 North 750 West. This property is in the M-1 zone and the Owner is proposing to construct a new office and shop for their business. The on-site improvements also include new asphalt, concrete, utilities, and a retention basin.

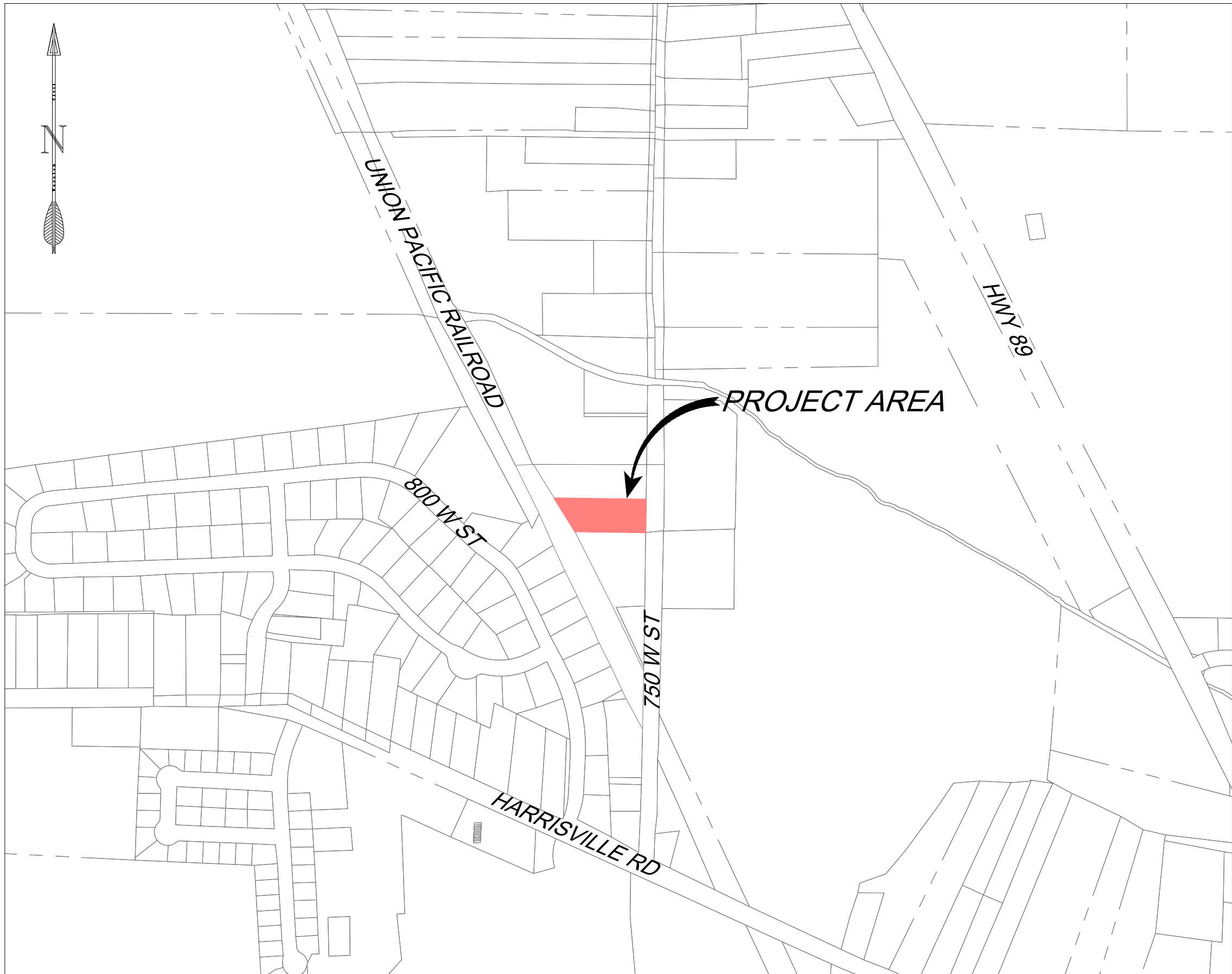
One unique issue with this site is that there is no storm drain system in the area. They are proposing to construct a new retention basin in the back of the property which will include over-excavating and bringing in gravel to allow the runoff to hopefully get lower into the existing ground. The plans also callout a future connection to a city storm drain system on 750 West, once that is constructed. At that point, the on-site storm drain system could drain to the new city storm drain at a detained rate. We have worked with the Owner and their Engineer with this design and feel that it is the best option at this point.

We recommend final site plan approval at this time with the following items to be completed prior to construction:

1. Obtain final approval from Bona Vista Water for the new culinary water service.
2. Obtain site plan approval from North View Fire District.
3. Install cobble (4" or greater) in the retention basin as opposed to the decorative gravel.

Prior to construction, the Developer and Contractor must hold a pre-construction meeting with City staff. Should you have any questions, please let us know.

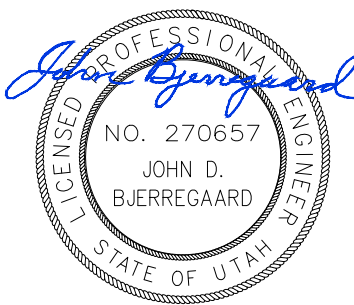
ELITE 3 CONSTRUCTION
ELITE 3 HARRISVILLE
JUNE 2024



VICINITY MAP

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH HARRISVILLE CITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN & PAY FOR ALL REQUIRED CONSTRUCTION PERMITS FROM HARRISVILLE CITY AND OTHER AGENCIES PRIOR TO BEGINNING WORK.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PROJECT DRAWINGS HAVE BEEN LOCATED FROM A LIMITED SITE SURVEY AND FROM AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A UTILITY LINE LOCATION DIFFERS FROM THE DESIGN DRAWINGS OR IF AN UNANTICIPATED UTILITY LINE IS DISCOVERED.
- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL PERSONNEL AND SIGNAGE REQUIRED FOR WORK WITHIN EXISTING RIGHTS-OF-WAY.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE DUST CONTROL & CLEAN-UP OF EXISTING STREETS.
- THE CONTRACTOR SHALL EXERCISE CAUTION TO VERIFY VALUES SHOWN ON THE PLANS, CONSTRUCTION STAKES AND/OR CUT SHEETS. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS, GRADES, SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES, AMBIGUITIES, OR OTHERWISE APPARENT GRADING PROBLEMS SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER WHO WILL PROMPTLY CORRECT SAID INCONSISTENCIES OR AMBIGUITIES IN WRITING. ALL GRADES AND FORMS MUST BE INSPECTED AND APPROVED BEFORE PLACING CONCRETE. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES OR WITHOUT PROPER INSPECTION SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE TO CORRECT.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AND SITE RUNOFF.
- SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DELETERIOUS MATERIAL PRIOR TO GRADING.
- COMPLY WITH THE DIVISION OF WATER QUALITY REQUIREMENTS FOR STORMWATER BEST MANAGEMENT PRACTICES, CONTROLS AND PERMITS.



SHEET LEGEND

- COVER SHEET
- SITE PLAN
- GRADING PLAN
- GENERAL DETAILS
- LANDSCAPE PLAN
- EROSION & SEDIMENT CONTROL PLAN
- EROSION & SEDIMENT CONTROL NOTES

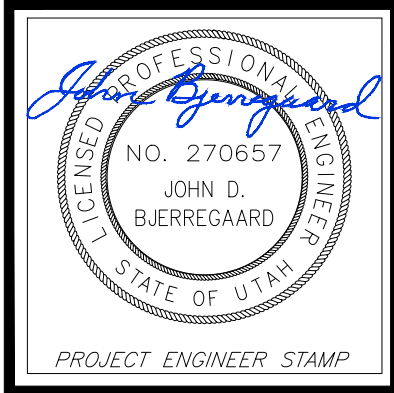
LEGEND

| | |
|------|---------------------------|
| SD | PROPOSED STORM DRAIN |
| SS | PROPOSED SANITARY SEWER |
| W | PROPOSED WATERLINE |
| | SANITARY SEWER |
| | STORM DRAIN PIPE |
| | CULINARY WATER |
| | QUESTAR IHP GAS LINE |
| | QWEST COMMUNICATION LINES |
| COM | ROCKY MOUNTAIN POWER |
| | FINISHED GRADE CONTOUR |
| 4263 | |
| | ASPHALT TRANSITION PAVING |
| | PROPOSED CONCRETE |
| | EXISTING ASPHALT |
| | EXISTING CONCRETE |
| SL | STREET LIGHT |
| PP | POWER POLE |
| PB | POWER BOX |
| RD | ROOF DRAIN |
| DS | DOWN SPOUT |
| SS | EXISTING STREET SIGN |
| WM | WATER METER |
| MH | MANHOLE |
| CO | CLEAN OUT |
| CB | CATCH BASIN |
| WV | WATER VALVE |
| FH | FIRE HYDRANT |
| WH | WALL HYDRANT |

ABBREVIATIONS

| | |
|------|--------------------------------|
| STA | PROJECT STATIONING |
| PVI | POINT OF VERTICAL INTERSECTION |
| BCR | BEGINNING OF CURB RADIUS |
| ECR | END OF CURB RADIUS |
| PRC | POINT OF REVERSE CURVATURE |
| PCC | POINT OF COMPOUND CURVATURE |
| PC | POINT OF CURVATURE |
| PT | POINT OF TANGENCY |
| BW | BACK OF WALK ELEVATION |
| EA | EDGE OF ASPHALT ELEVATION |
| TA | TOP OF ASPHALT |
| TBC | TOP BACK OF CURB |
| TMC | TOP BACK OF MOUNTABLE CURB |
| TDC | TOP OF DEPRESSED CURB |
| HP | HIGH POINT |
| LP | LOW POINT |
| GB | GRADE BREAK |
| TG | TOP OF GRATE |
| FL | FLOW LINE |
| LIP | LIP OF GUTTER |
| R.D. | ROOF DRAIN |
| L.F. | LINEAL FEET |
| EC | EDGE OF CONCRETE |
| DRV | DRIVE WAY |
| TW | TOP OF WALL |
| TC | TOP OF CURB WALL |
| BD | BAY DOOR |
| MD | MAN DOOR |
| DR | DRAIN |
| BL | BOLLARD |
| TRG | TOP OF ROLL GUTTER |

4105-MISC-LEVEE 3 CONSTRUCTION (CAD) BASE-DRAWINGS (BASE-LDWG 6/10/2024 9:29:08 AM



WASATCH CIVIL
CONSULTING ENGINEERING
1150 DEPOT DRIVE, SUITE 225, OGDEN, UT 84404
(801) 775-9191 WASATCHCIVIL.COM

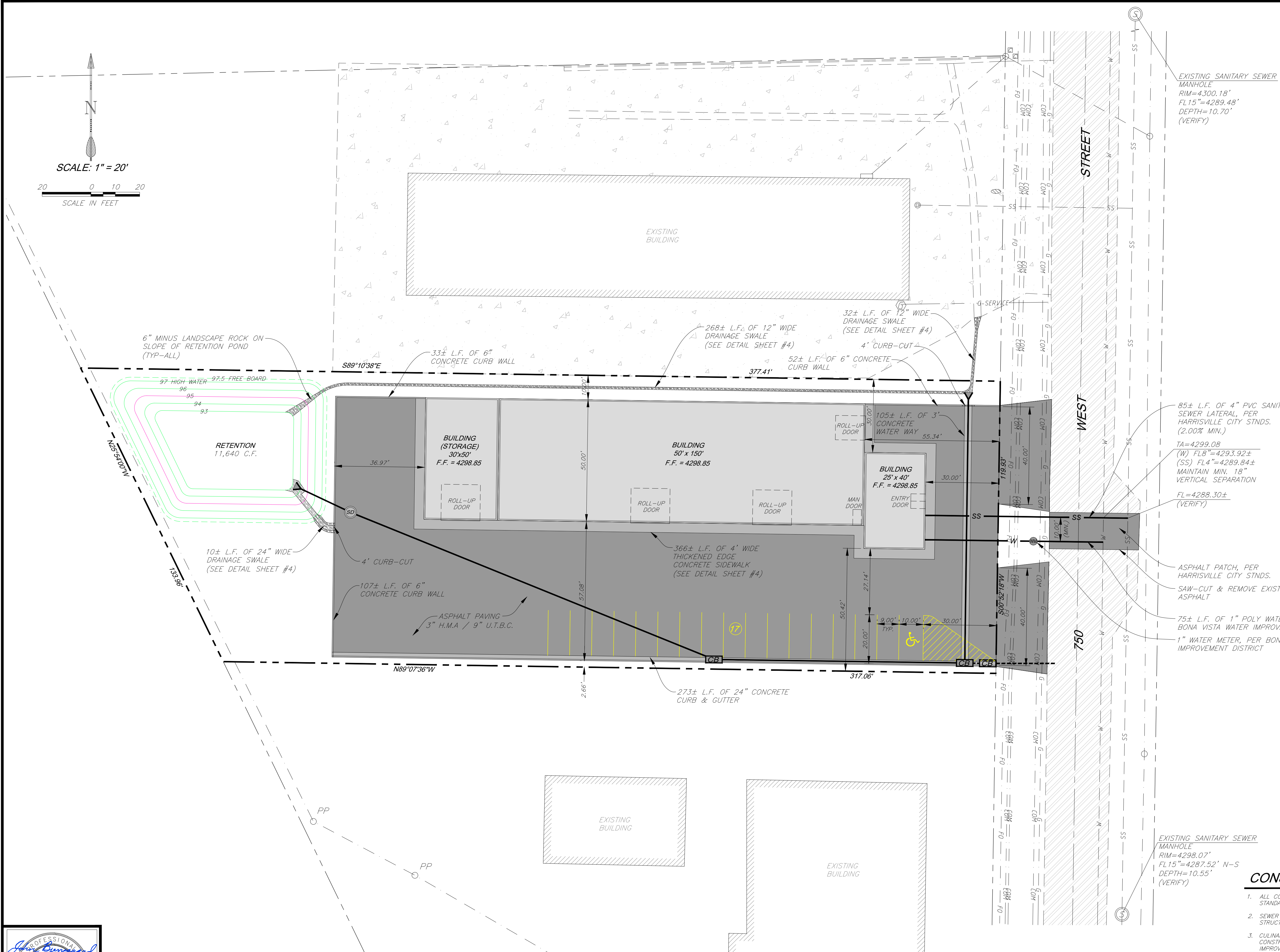
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DESIGNED C.S. DATE JUNE 7, 2024
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CHECKED M.M.

Elite3 Construction
RYAN SAVAGE
420 W. 2ND STREET
OGDEN, UT 84404

ELITE 3 - HARRISVILLE
OVERALL SITE PLAN

SHEET:
2
OF 7 SHEETS



EXISTING SANITARY SEWER
MANHOLE
RIM=4300.18'
FL15"=4289.48'
DEPTH=10.70'
(VERIFY)

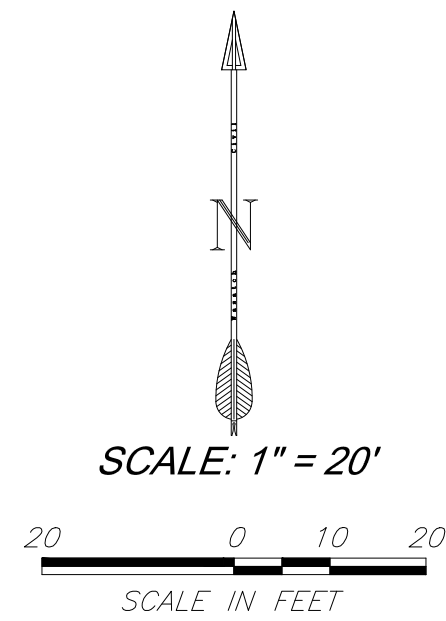
85± L.F. OF 4" PVC SANITARY
SEWER LATERAL, PER
HARRISVILLE CITY STNDS.
(2.00% MIN.)
TA=4299.08
(W) FL8"=4293.92±
(SS) FL4"=4289.64±
MAINTAIN MIN. 18"
VERTICAL SEPARATION
FL=4288.30±
(VERIFY)

ASPHALT PATCH, PER
HARRISVILLE CITY STNDS.
SAW-CUT & REMOVE EXISTING
ASPHALT
75± L.F. OF 1" POLY WATER SERVICE, PER
BONA VISTA WATER IMPROVEMENT DISTRICT
1" WATER METER, PER BONA VISTA WATER
IMPROVEMENT DISTRICT

SITE DATA
SITE AREA 41,592 S.F. = (0.95 AC.)
BUILDING AREA = 9,987 S.F. (24.0%)
PARKING REQUIRED = 17 STALLS
PARKING PROVIDED = 17 STALLS
ZONING : MP-1

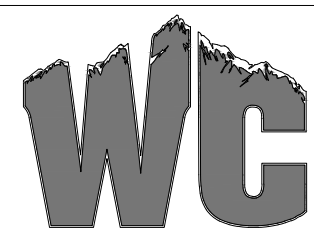
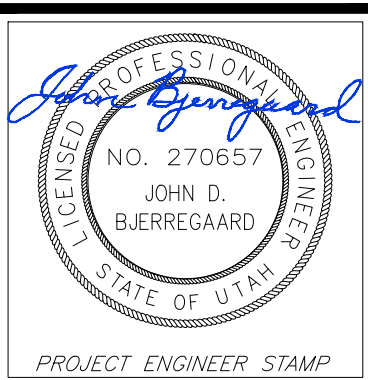
| OPENSOURCE CALCULATIONS | | |
|-------------------------------|--------|-----|
| | S.F. | % |
| BUILDING COVERAGE | 9,987 | 24 |
| HARDSCAPE (NON OPEN SPACE) | 19,209 | 46 |
| OPEN SPACE | 12,396 | 30 |
| OVERALL AREA | 5,695 | 100 |

- CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE HARRISVILLE CITY STANDARDS & SPECIFICATIONS
 - SEWER LATERAL SHALL HAVE A CLEAN-OUT CONSTRUCTED ON THE OUTSIDE OF THE STRUCTURE
 - CULINARY WATER IS PROVIDED BY BONA VISTA WATER IMPROVEMENT DISTRICT. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS & SPECIFICATIONS



FUTURE DETENTION REQUIREMENT: 7,710 FT³
(WITH DISCHARGE TO FUTURE
750 WEST STORM DRAIN)

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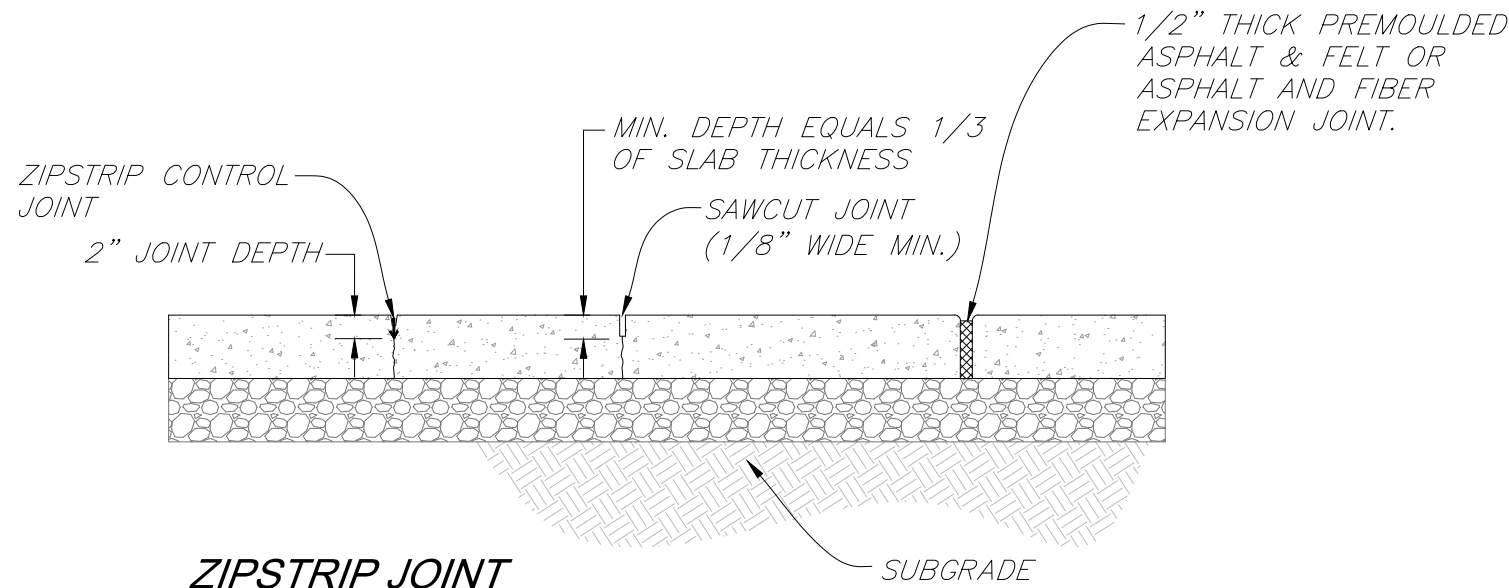
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DESIGNED C.S. DATE JUNE 7, 2024
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ELITE 3 - HARRISVILLE
GRADING PLAN

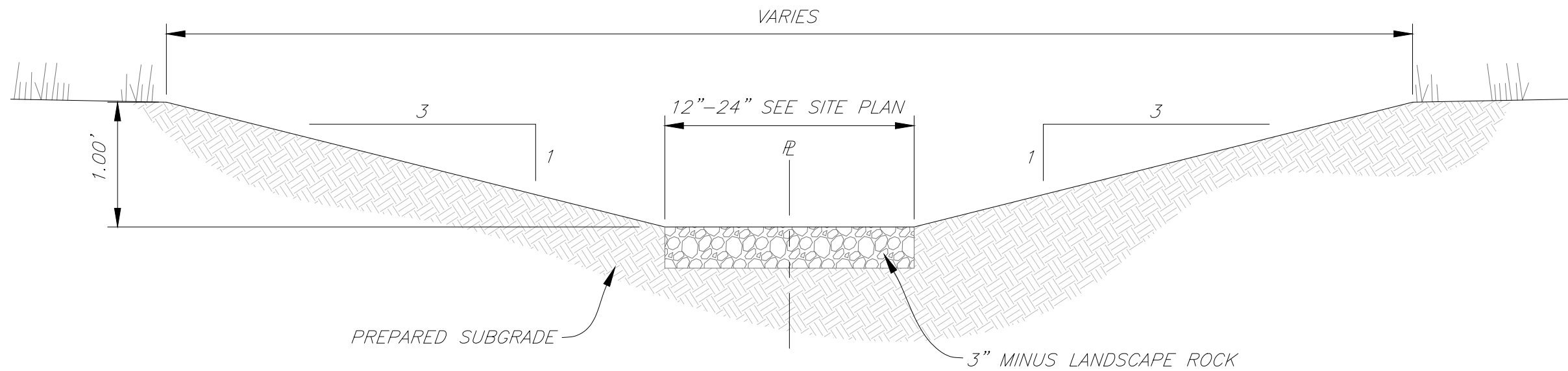
SHEET:
3
OF 7 SHEETS



NOTE:
CONTROL JOINTS SHALL MAINTAIN A MINIMUM DEPTH EQUAL TO 1/3 OF THE SLAB THICKNESS OR A ZIP STRIP CONTROL JOINT SHALL BE USED AS REQUIRED BY THE ENGINEER.

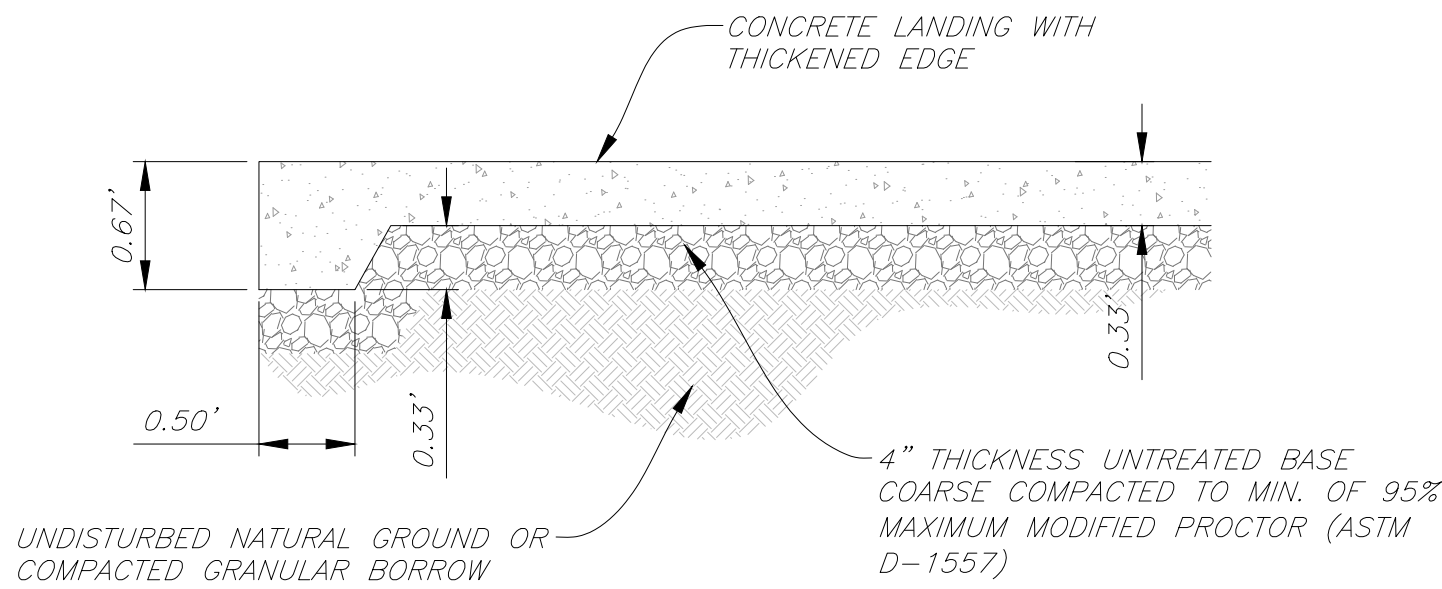
JOINT DETAIL

SCALE: 1" = 1'



DRAINAGE SWALE DETAIL

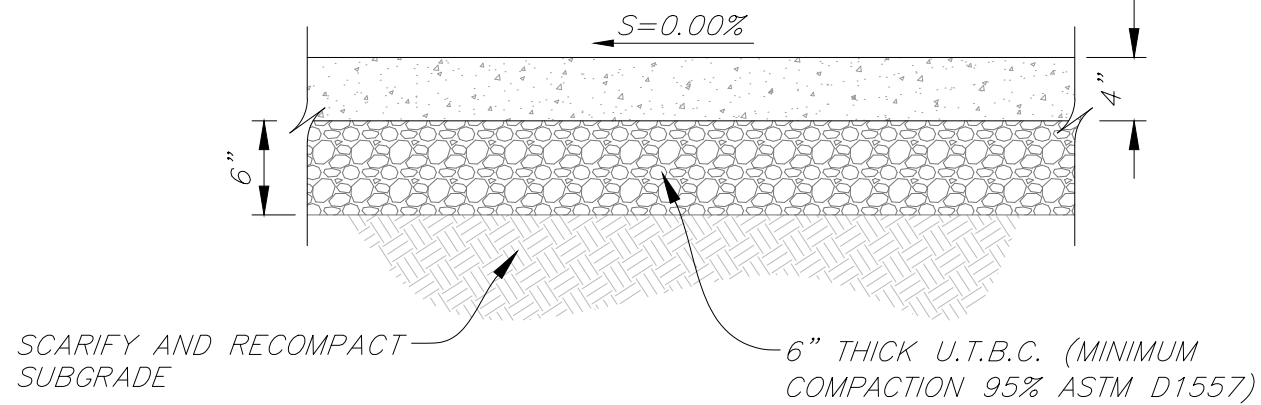
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THICKENED EDGE SIDEWALK

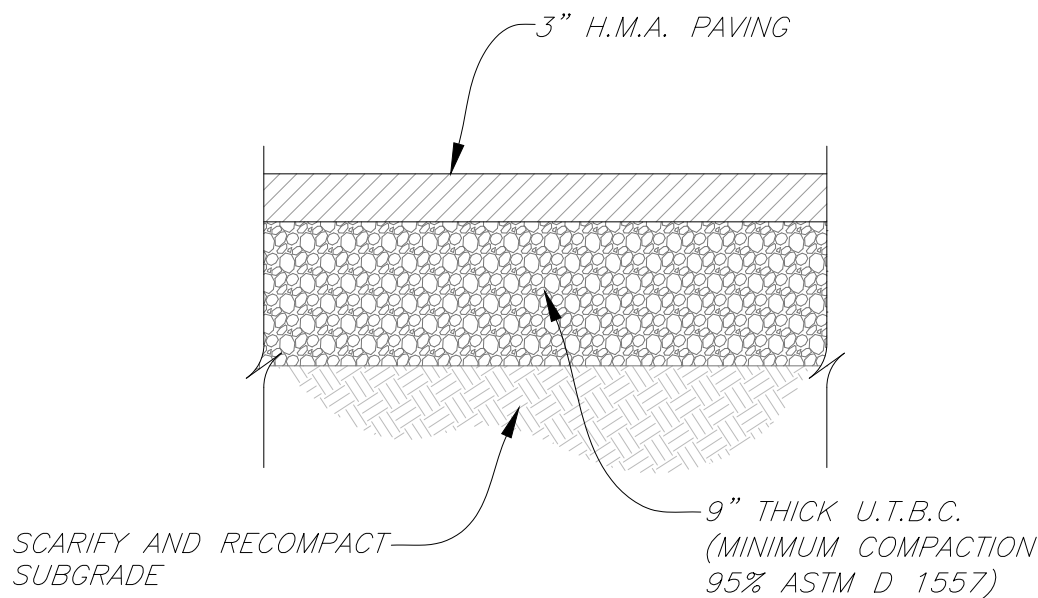
SCALE: 1"=1'

NOTE:
JOINTS PER OGDEN CITY STANDARDS (1" DEEP CRACK CONTROL JOINTS 4.0' O.C., EXPANSION JOINTS @ 50.0' O.C.)



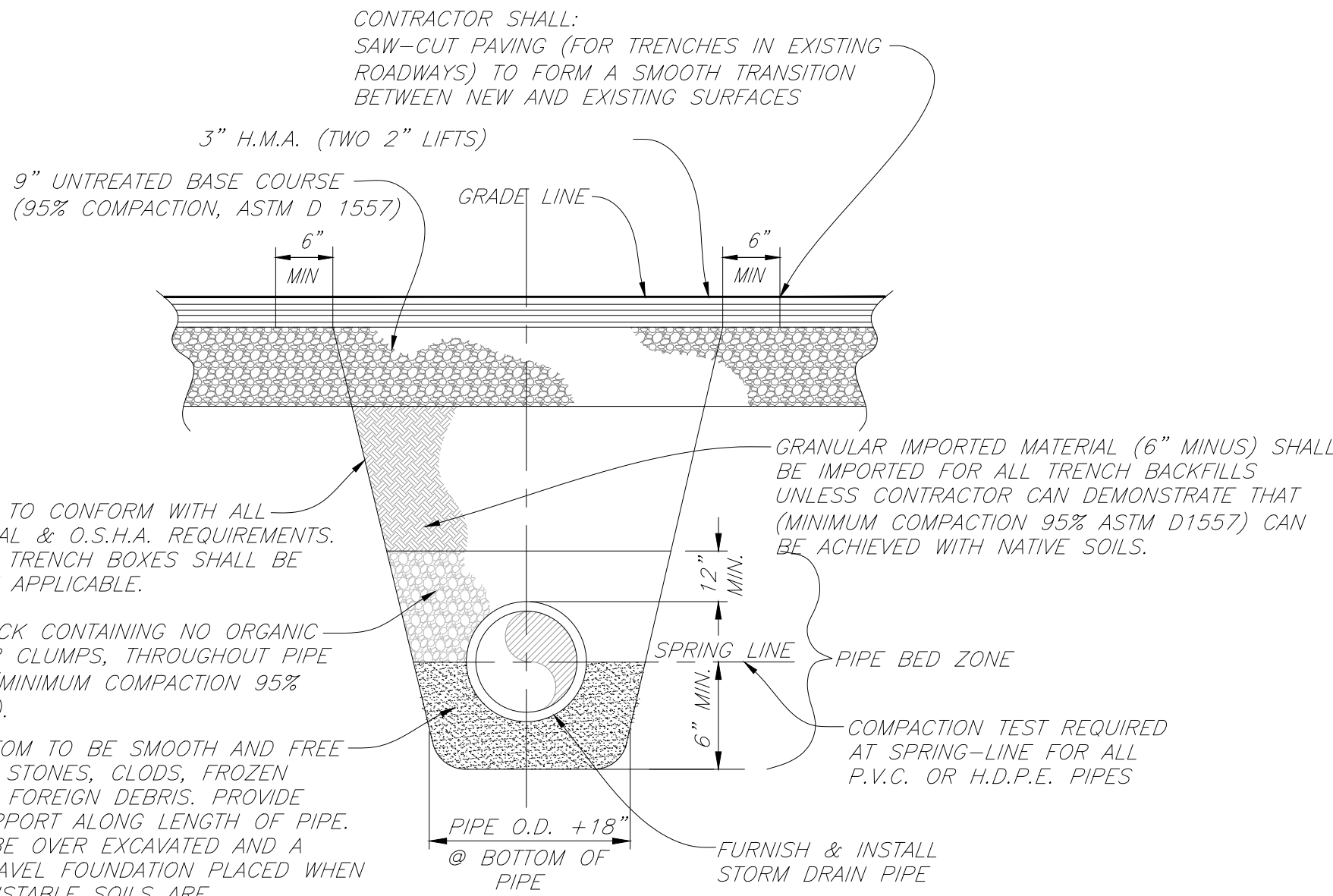
CONCRETE SLAB SECTION

SCALE: 1" = 1'



TYPICAL ASPHALT PAVING SECTION

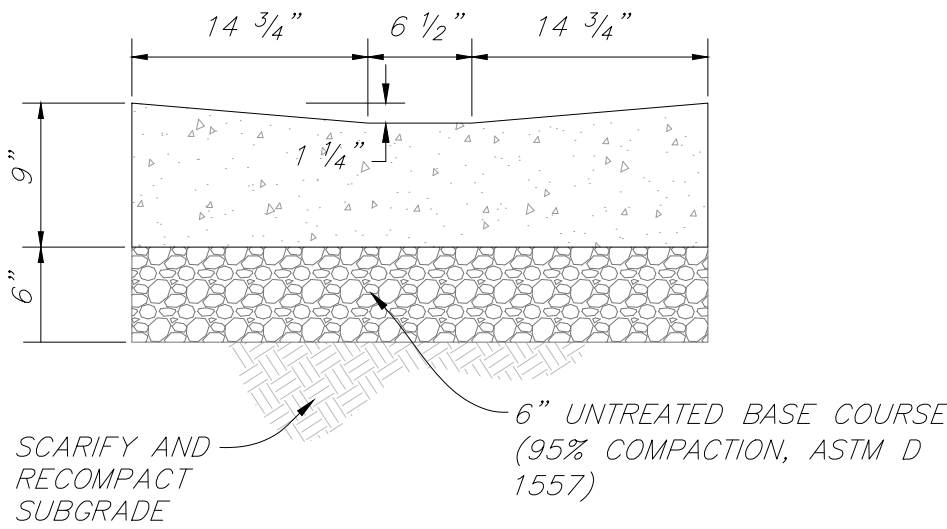
SCALE: 1" = 1'



NOTES:
1. COMPACTION TESTS SHALL BE REQUIRED BY PROJECT ENGINEER. ALL TESTS SHALL BE PERFORMED IN THE PRESENCE OF PROJECT INSPECTOR. PROJECT INSPECTOR MAY DETERMINE TEST LOCATIONS. (MINIMUM NUMBER OF TESTS: 1 PER 200', PER 2' BACKFILL HEIGHT)

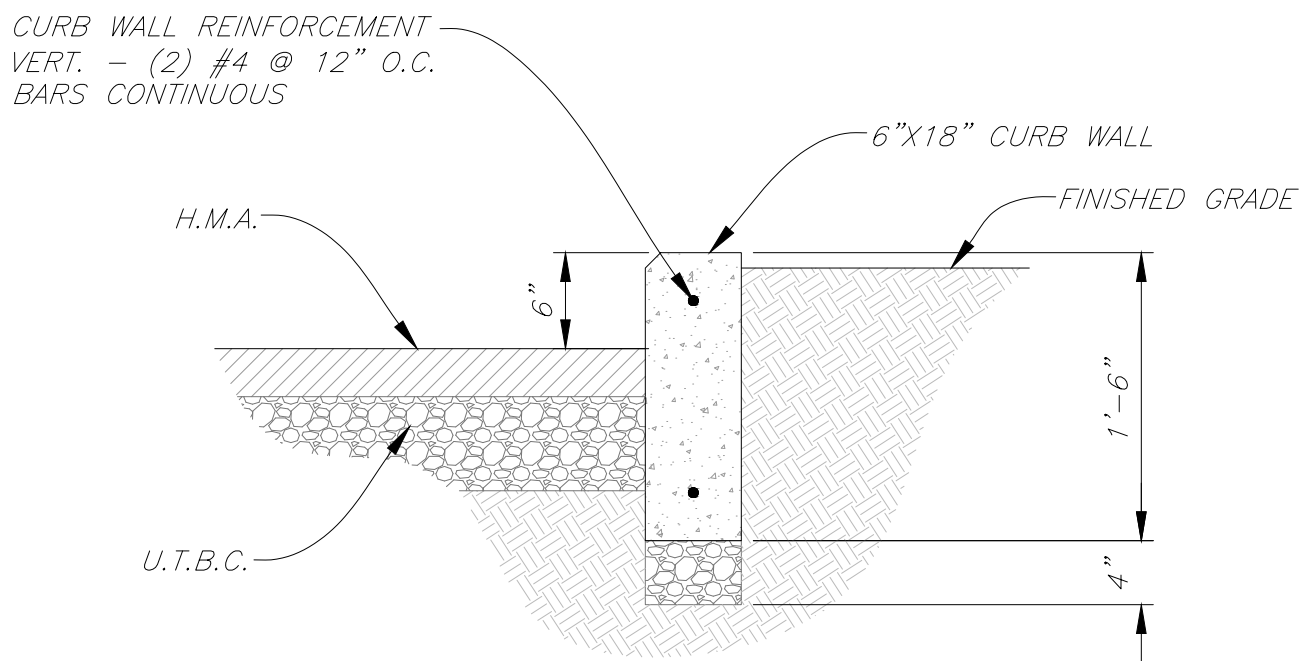
TYPICAL TRENCH SECTION

N.T.S.



3'-0" WATERWAY

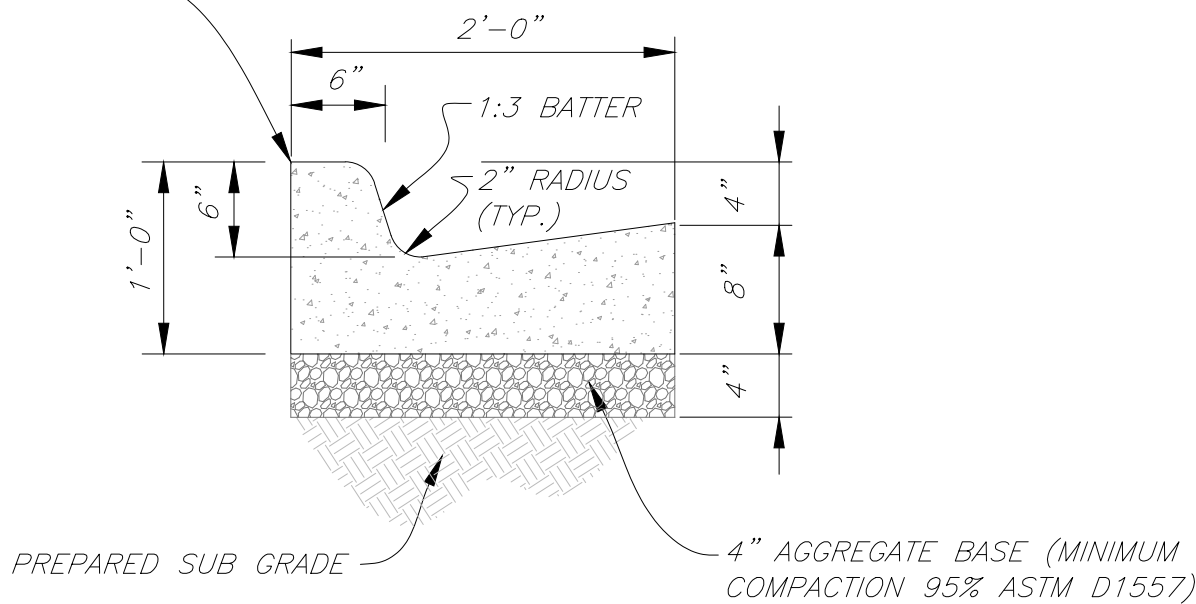
SCALE: 1" = 1'



CURB WALL DETAIL

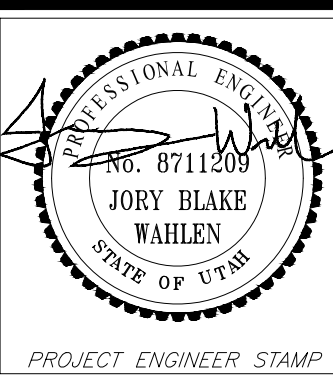
SCALE: 1"=1'

CONTRACTION JOINTS 10' SPACING (MINIMUM DEPTH FOR SLIP FORM CUTS 1-1/2")



PARKING LOT CURB & GUTTER SECTION

SCALE: 1" = 1'



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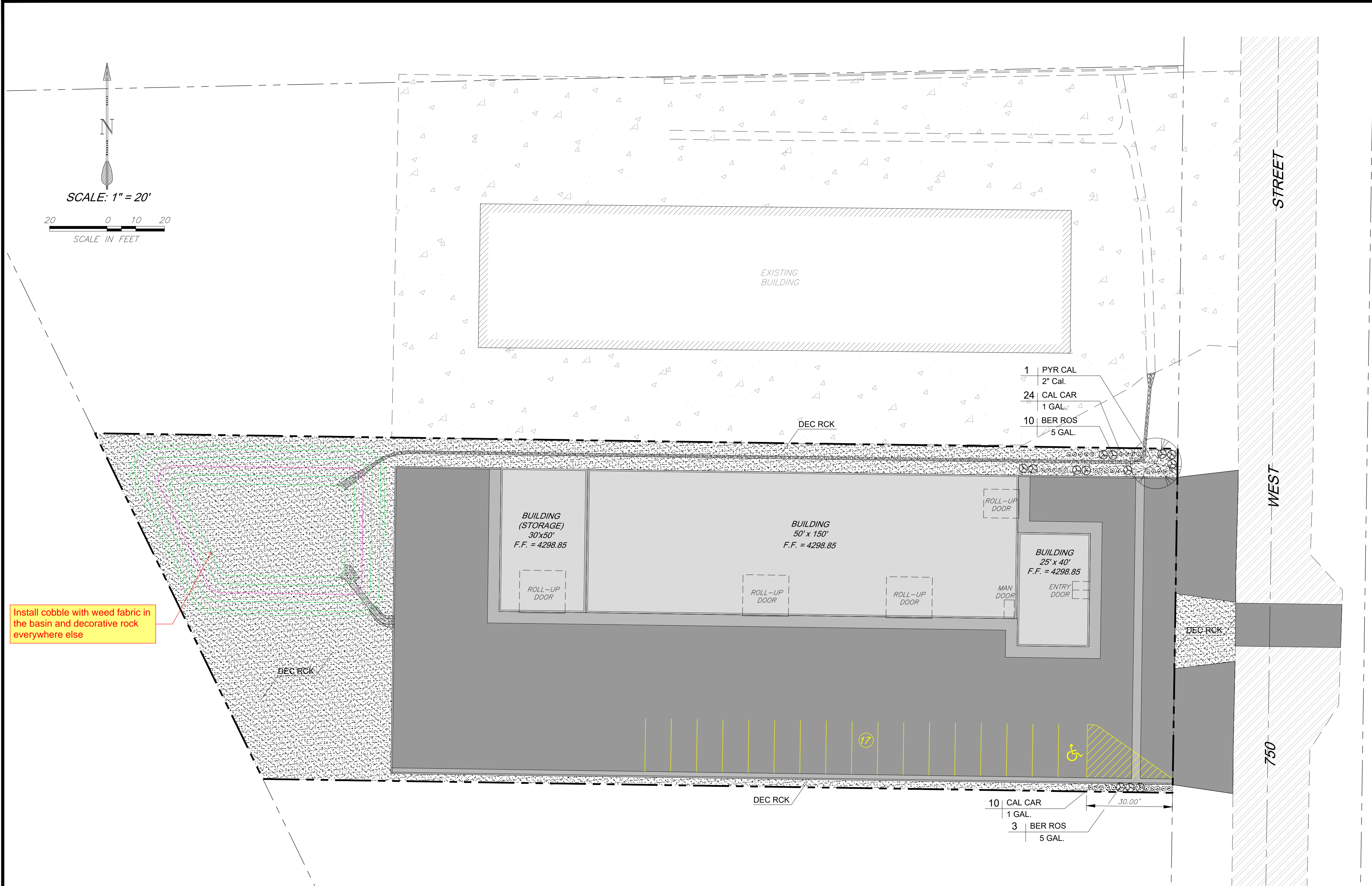
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420 W. 2ND STREET
OGDEN, UT 84404

ELITE 3 CONSTRUCTION
DETAILS

SHEET:

4

OF 7 SHEETS

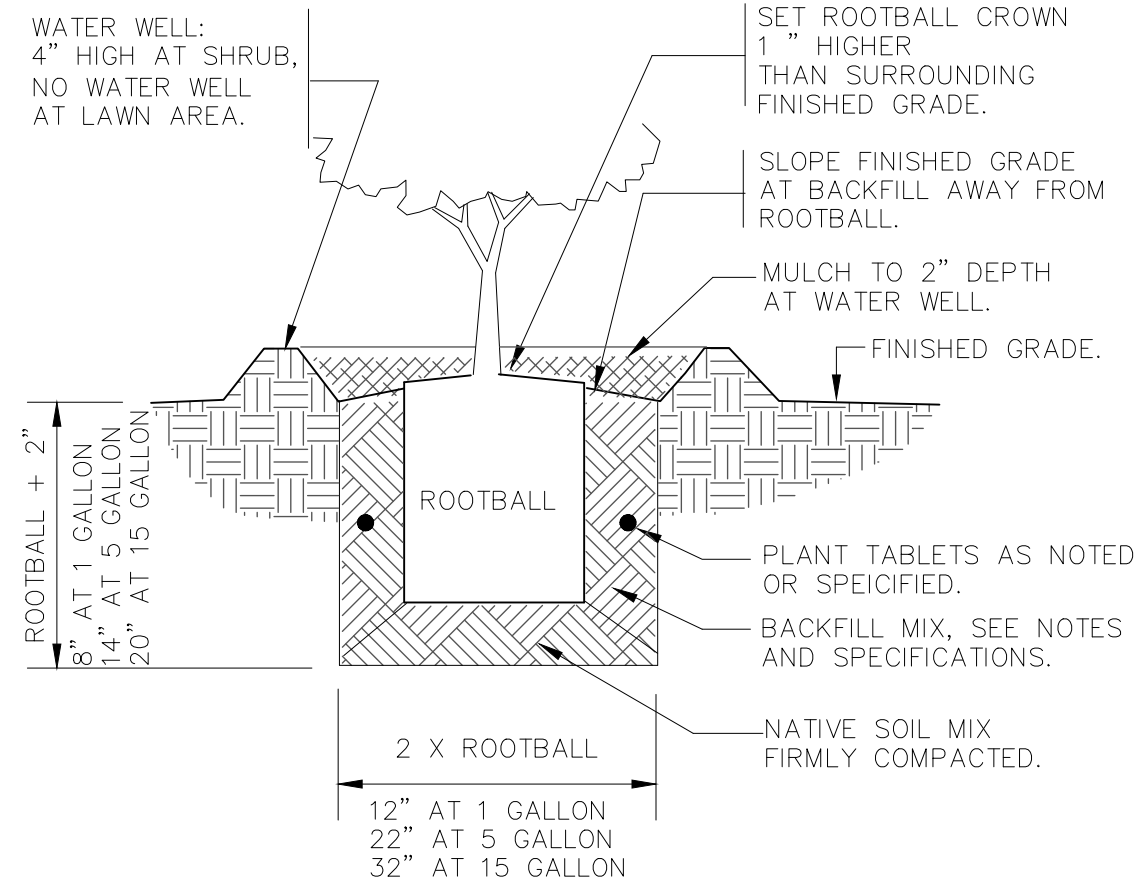


PLANT SCHEDULE

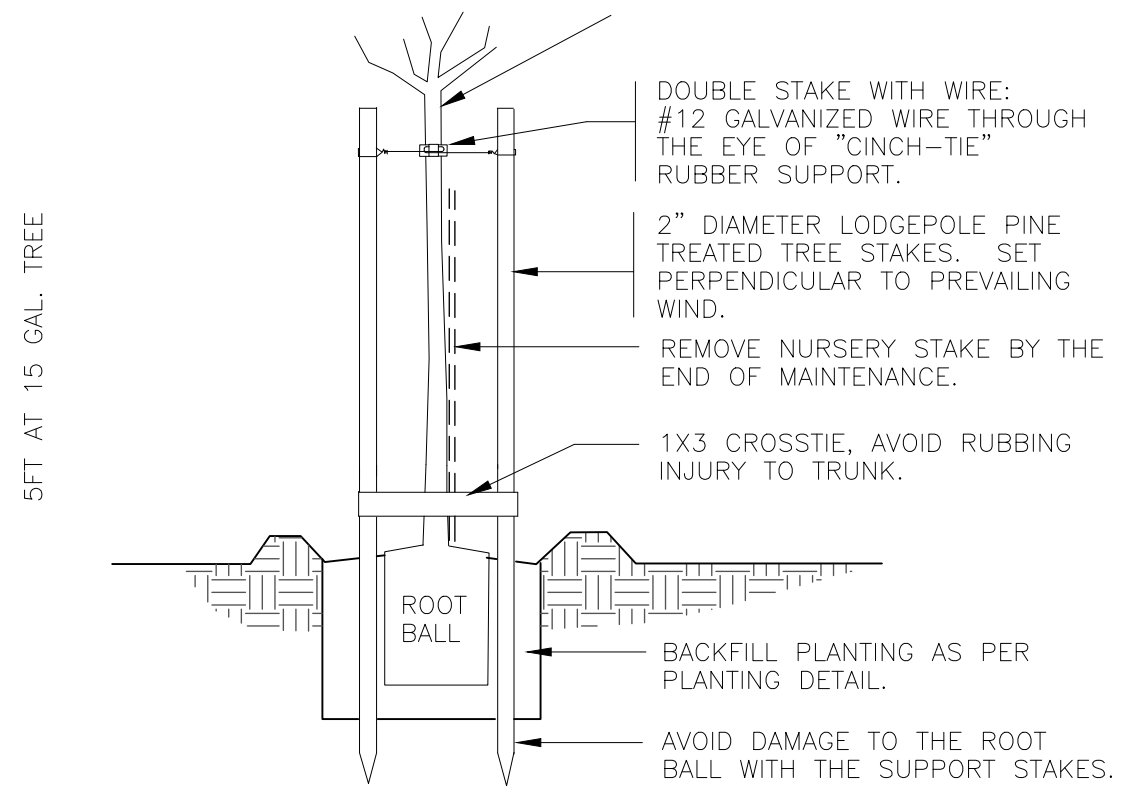
| TREES | BOTANICAL / COMMON | SIZE | COND | QTY |
|------------|--|--------|------|-------------|
| PYR CAL | PYRUS CALLERYANA 'BRADFORD' / BRADFORD FLOWERING PEAR | 2" CAL | B&B | 1 |
| SHRUBS | BOTANICAL / COMMON | SIZE | COND | QTY |
| BER ROS | BERBERIS THUNBERGII 'ROSE GLOW' / ROSY GLOW BARBERRY | 5 GAL | - | 13 |
| CAL KAR | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FOERSTER'S FEATHERED REED GRASS | 1 GAL | - | 34 |
| SOD / SEED | BOTANICAL / COMMON | SIZE | COND | QTY |
| DEC RCK | | 2" | - | 13,000 S.F. |

LANDSCAPING NOTES

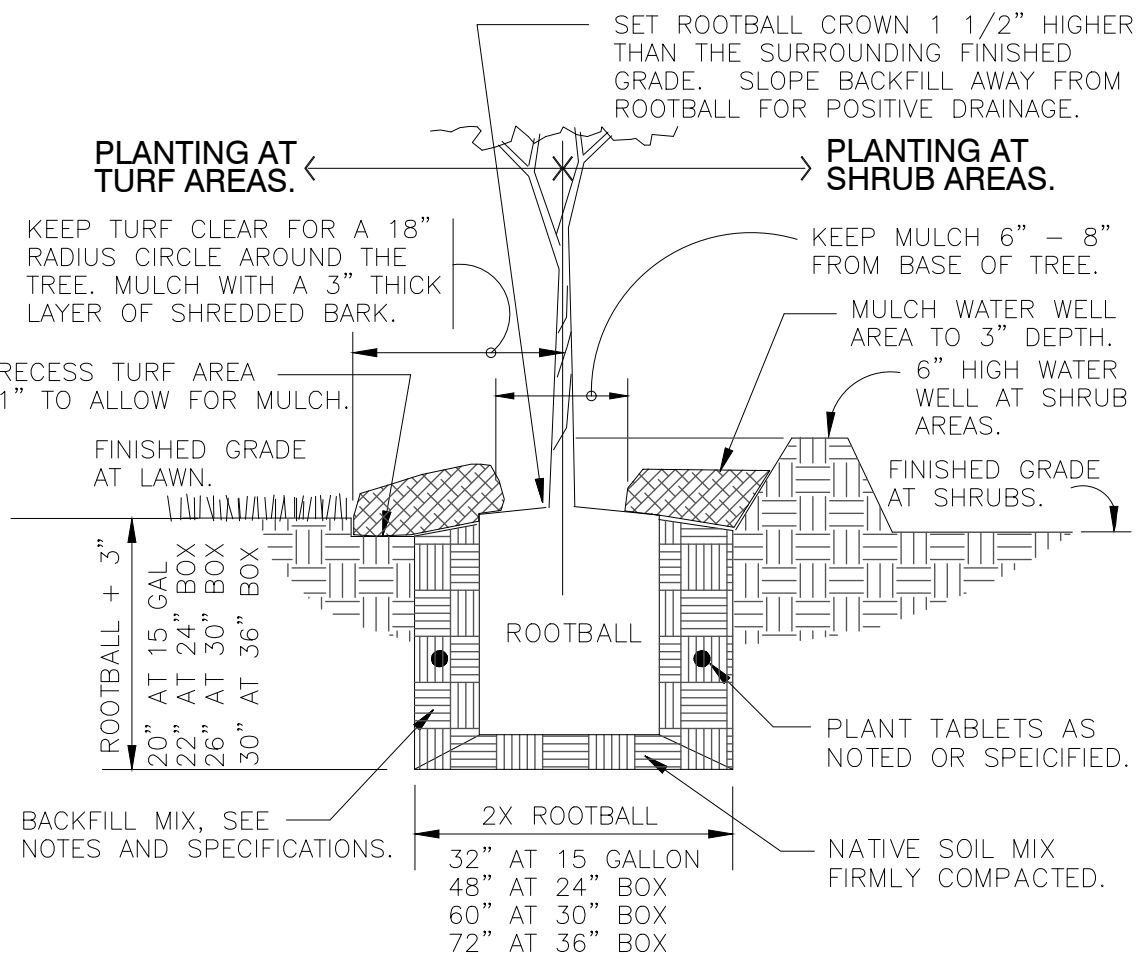
- PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS, AND IF A DISCREPANCY EXISTS, THE PLAN SHALL GOVERN.
- ALL PLANT LOCATIONS ARE CONCEPTUAL ONLY AND SHOULD BE COORDINATED WITH ACTUAL SITE CONDITIONS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER.
- ALL PLANT ALTERNATIVES, SUBSTITUTIONS, ADDITIONS OR DELETIONS SHALL BE REVIEWED AND APPROVED BY LANDSCAPE DESIGNER.
- FINISH GRADE IN PLANTERS SHALL BE 1" BELOW TOP OF ADJACENT CURBS, WALKS OR PAVED AREAS. GRADE ALL FINISH SURFACES SMOOTH AND EVEN, AND 6" BELOW FINISH FLOOR ELEVATION OF BUILDINGS.
- PLANTING AREAS SHALL BE KEPT CLEAN AND FREE FROM ALL CONCRETE, ASPHALTIC WASTE, LUMBER, OR OTHER IMPURITIES. POLLUTION CAUSED BY GASOLINE, PLASTER, OIL, OR OTHER SUCH MATERIALS SHALL BE REMOVED BY EXCAVATION OF THE SOIL AND REPLACED WITH CLEAN TOPSOIL.
- PROVIDE WEED BARRIER BELOW DECORATIVE ROCK.
- PERMANENT DRIP IRRIGATION SYSTEM SHALL BE PROVIDED IN ALL PLANTER AREAS.
- DECORATIVE ROCK SHALL HAVE A MIN. DEPTH OF 3".



1 SHRUB PLANTING

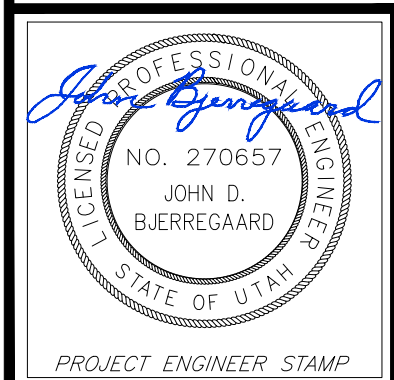


STAKING DETAIL



PLANT PIT DETAIL

2 TREE PLANTING DOUBLE STAKE

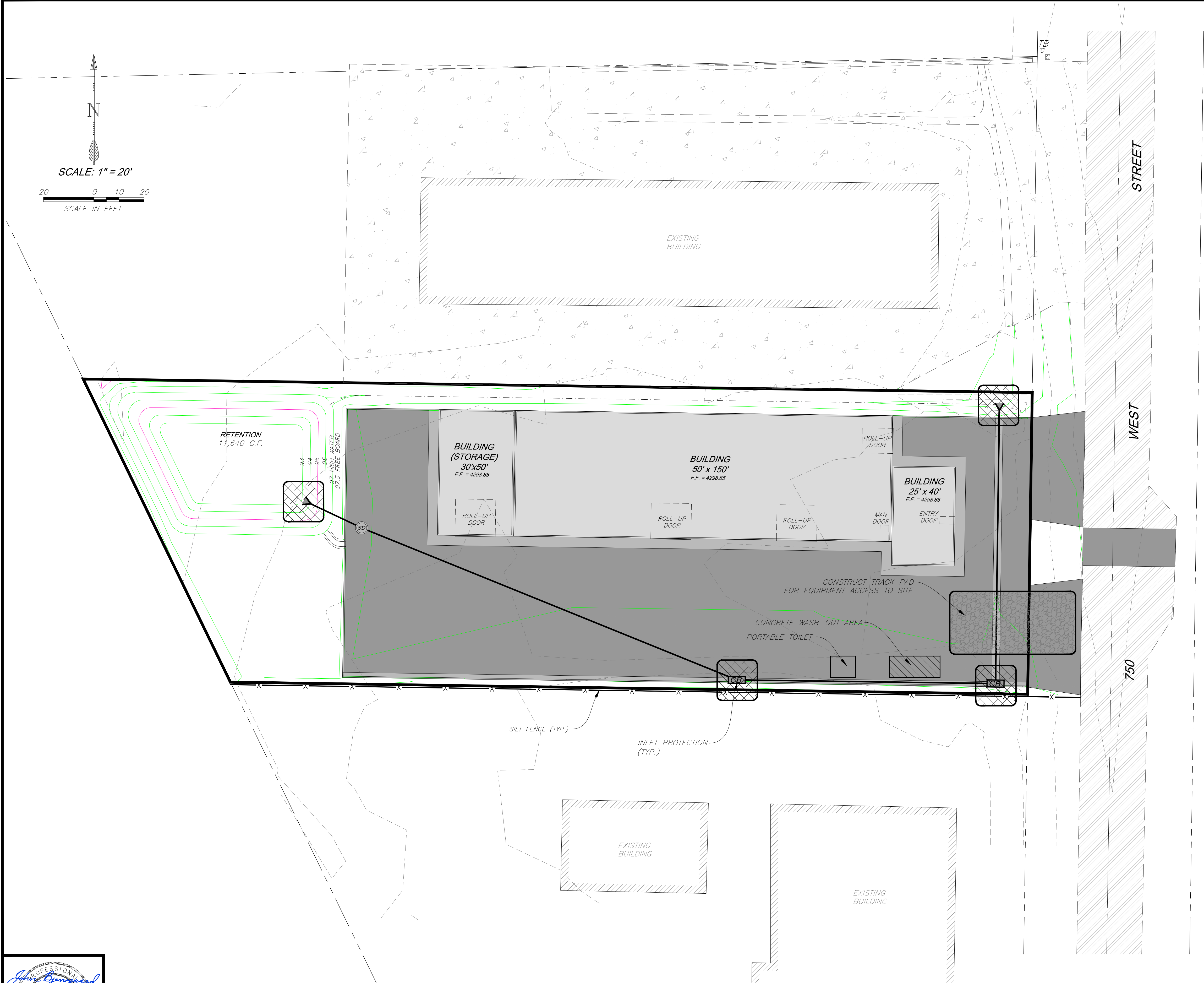


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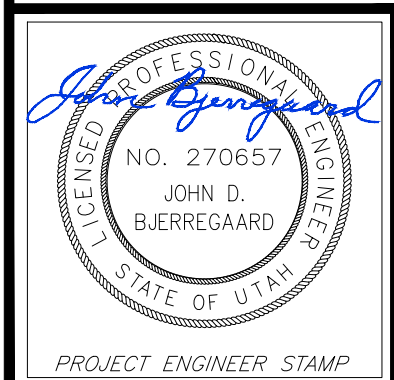
DESIGNED C.S. DATE JUNE 7, 2024
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RYAN SAVAGE
420 W. 2ND STREET
OGDEN, UT 84404

ELITE 3 - HARRISVILLE
LANDSCAPING PLAN



NOTE: THIS PLAN IS INTENDED TO IDENTIFY SOME OF THE TEMPORARY STRUCTURAL BMPs THAT MAY BE REQUIRED FOR A SWPPP. THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A COMPLETE SWPPP PER STATE AND CITY REQUIREMENTS.



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1150 DEPOT DRIVE, SUITE 225, OGDEN, UT 84404
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| DESIGNED | C.S. | DATE | JUNE 7, 2024 |
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Elite3 Construction
RYAN SAVAGE
420 W. 2ND STREET
OGDEN, UT 84404

ELITE 3 - HARRISVILLE
EROSION & SEDIMENT CONTROL PLAN

SHEET:
6
OF 7 SHEETS

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ELITE 3 CONSTRUCTION LLC.
HARRISVILLE CITY, UTAH

SEDIMENT AND EROSION CONTROL PLAN

1. THE CONTRACTOR IS REQUIRED TO DEVELOP A COMPLETE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT FULLY COMPLIES WITH HARRISVILLE CITY AND UTAH DIVISION OF WATER QUALITY REQUIREMENTS. INFORMATION AND BEST MANAGEMENT PRACTICES (BMPs) PROVIDED IN THESE DRAWINGS ARE INTENDED TO AID THE CONTRACTOR IN PREPARATION OF THE COMPLETE, SITE SPECIFIC SWPPP. INFORMATION IN THESE DRAWINGS IS NOT INTENDED TO FULLY SATISFY SWPPP REQUIREMENTS.
2. THE CONTRACTOR MUST SUBMIT THE COMPLETE SWPPP TO HARRISVILLE CITY FOR REVIEW AND APPROVAL.
3. THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION ACTIVITIES PERMIT FROM THE UTAH DIVISION OF WATER QUALITY. APPLY ON-LINE AT: <http://www.deq.utah.gov/Permits/water/updes/stormwatercon.htm>
4. IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF A POLLUTANT, THE CONTRACTOR SHALL NOTIFY OGDEN CITY AND WEBER COUNTY HEALTH DEPT. A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3 OR 40 CFR 302.4.
5. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE SWPPP SHALL BE PROVIDED TO THE CONTRACTORS AND THEIR PERSONNEL.
6. THE SWPPP SHALL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.
7. ALL DISCHARGERS OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF HARRISVILLE CITY, DAVIS COUNTY AND OTHER LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER TO STORM DRAINS.
8. THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY WEBER COUNTY, OGDEN CITY AND ANY OTHER AGENCY HAVING JURISDICTION.
9. THE SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308(B) OF THE CLEAN WATER ACT, UPON REQUEST BY MEMBERS OF THE PUBLIC, THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THE SWPPP TO THE REQUESTER. THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE DIVISION OF WATER QUALITY AND/OR THE LOCAL AGENCY.
10. CONTACTS:
- | | |
|--|---|
| HARRISVILLE CITY ENGINEERING DEPARTMENT 160 S. MAIN STREET FARMINGTON, UTAH 84025 | JONES & ASSOCIATES CITY PROJECT ENGINEER (801) 476-9767 |
| CIVIL ENGINEER WASATCH CIVIL CONSULTING ENGINEERS 1150 DEPOT DRIVE, SUITE #225 OGDEN, UTAH 84404 | JORY B. WAHLEN PROJECT MANAGER (801) 775-9191 |
| WEBER-MORGAN HEALTH DEPARTMENT 477 23RD STREET OGDEN, UTAH 84401 | MICHELA GLADWELL (801) 399-7178 |
| STATE OF UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY 288 NORTH 1460 WEST P.O. BOX 144870 SALT LAKE CITY, UTAH 84114-4870 | HARRY CAMPBELL ENVIRONMENTAL ENGINEER (801) 538-6146 |
| U.S. EPA ENVIRONMENTAL PROTECTION AGENCY DENVER, COLORADO | REGION VIII 800-759-4372 |
| ENVIRONMENTAL PROTECTION AGENCY WASHINGTON, D.C. 20460 | 202-475-9518 |
11. REFERENCES:
- A. PLAN / PROFILE PLAN PER WASATCH CIVIL DATED JUNE 2024.
- B. STORMWATER POLLUTION PREVENTION PLAN PREPARED BY WASATCH CIVIL CONSULTING ENGINEERS DATED JUNE 2024.
12. THE PROPOSED CONSTRUCTION IS CONSTRUCTION OF A MANUFACTURING WAREHOUSE.
13. LOCATION OF THE SITE: THE PROJECT IS LOCATED AT 1597 750 WEST ST IN HARRISVILLE CITY, DAVIS COUNTY, UTAH.
14. THIS SITE RECEIVES RUNOFF FROM ADJACENT MANUFACTURING PROPERTIES AS IS TYPICAL FOR A MANUFACTURING SITE.
15. SITE CHARACTERISTICS:
- TOTAL PROJECT AREA = 41,689 S.F. (.96 ACRES)
- DISTURBED AREA = 41,689 S.F. (.96 ACRES)
- SOIL TYPE - EXISTING CONDITION - RUNOFF COEFFICIENT = 0.6 (60% IMPERVIOUS)
- FINISHED PROJECT - RUNOFF COEFFICIENT = 0.7 (70% IMPERVIOUS)
16. STORM WATER QUALITY AND RECEIVING WATER:
- STORM WATER QUALITY - TYPICAL FOR INDUSTRIAL AREA
- RECEIVING WATER - ON-SITE
- DISTANCE TO RECEIVING WATER = 0.0 MILES.

STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES

A. PROHIBITION ON MOST NON-STORM WATER DISCHARGES

ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS, AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.

B. SOURCES OF STORM WATER POLLUTANTS

STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, AND HEAVY METALS. SOURCES OF STORM WATER POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.

C. EROSION AND SEDIMENT CONTROLS

- COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.
- IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMES AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.
- RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.
- DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMES OR DIRT SWALES.

D. OTHER CONTROLS

1. WASTE DISPOSAL

- A. KEEP WASTE DISPOSAL CONTAINERS COVERED.
- B. PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) DISPOSAL OF WASTE CONTAINERS.
- C. PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.

2. SWEEPING OF SITE

- A. PROVIDE WEEKLY SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.
- B. DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.

3. SANITARY/SEPTIC DISPOSAL

PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTE SHALL BE DISPOSED IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.

4. SPILLS

- A. STORE ADEQUATE ABSORBENT MATERIALS, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OF MATERIALS SUCH AS FUEL, PAINT, SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.
- B. FOR REPORTABLE QUANTITY OF HAZARDOUS OR TOXIC SUBSTANCE, SECURE THE SERVICES OF QUALIFIED PERSONNEL OR CLEAN-UP AND DISPOSAL.

5. CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES

LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING, AND PAVEMENT WASHING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED, COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.

6. VEHICLES AND EQUIPMENT

- A. FIX LEAKS OF FUEL, OIL AND OTHER SUBSTANCES IMMEDIATELY.
- B. PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.

- C. USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.

7. CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT

- A. DO NOT DISPOSE OF WASHOUT FROM THE WASHING OF CONCRETE TRUCKS, MIXERS, AND HANDLING EQUIPMENT WHERE IT WILL FLOW INTO A STORM WATER INLET OR INTO A PUBLIC STREET.
- B. PROVIDE A HOLDING TANK TO RECEIVE ANY WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HANDLING FIRM.
- C. PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT. DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK.

8. LANDSCAPING OPERATIONS

- A. USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZES, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.
- B. DO NOT OVER WATER FERTILIZED OR TREATED LANDSCAPE AREAS. MINIMIZE RUNOFF OF IRRIGATION WATER FROM LANDSCAPING.

9. STORM WATER INLETS

KEEP ALL ON-SITE STORM WATER INLETS CLEAN AND FREE OF DIRT AND DEBRIS. IN THE EVENT THAT SEDIMENT AND DEBRIS MAY FLOW TO AN INLET, PROVIDE AN 18-INCH (MINIMUM) STRAIN BARRIER AROUND THE INLET TO TRAP THE DIRT AND DEBRIS AND ALLOW ONLY CLEAN STORM WATER TO ENTER THE INLET.

E. INSPECTION

1. REGULAR INTERVAL INSPECTION AND INSPECTION BEFORE AND AFTER STORMS

A. VISUALLY INSPECT THE SITE WEEKLY TO INSURE THAT STORM WATER INLETS ARE FREE OF DIRT AND DEBRIS.

B. BEFORE A STORM, INSPECT THE SITE TO INSURE THAT STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.

C. AFTER A STORM, INSPECT ALL STORM WATER INLETS TO INSURE THAT THEY ARE CLEAR OF DIRT AND DEBRIS. CLEAN THOSE STORM WATER INLETS THAT ARE NOT CLEAR AND FREE OF DEBRIS.

D. THE REGIONAL WATER BOARD MAY REQUIRE THE DISCHARGER TO CONDUCT ADDITIONAL SITE INSPECTIONS, SUBMIT REPORTS AND CERTIFICATIONS, OR TO PERFORM SAMPLING AND ANALYSIS.

2. ALL DISCHARGERS ARE REQUIRED TO CONDUCT INSPECTIONS OF THE CONSTRUCTION SITE PRIOR TO ANTICIPATED STORM EVENTS AND AFTER ACTUAL STORM EVENTS, TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER DISCHARGE, TO EVALUATE WHETHER MEASURES TO REDUCE POLLUTANT LOADINGS IDENTIFIED IN THIS SWPPP ARE ADEQUATE, TO PROPERLY IMPLEMENT IN ACCORDANCE WITH THE TERMS OF THE GENERAL PERMIT, AND TO DETERMINE WHETHER ADDITIONAL CONTROL PRACTICES ARE NEEDED.
3. PREPARATION OF REPORTS AND RETENTION OF RECORDS

A. EACH DISCHARGER MUST CERTIFY ANNUALLY THAT ITS CONSTRUCTION ACTIVITY IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE GENERAL PERMIT AND THIS SWPPP. THIS CERTIFICATION MUST BE BASED ON THE SITE INSPECTIONS. THE FIRST CERTIFICATION MUST BE COMPLETED BY JULY 1, 2005, AND EACH JULY 1 THEREAFTER.

B. THE DISCHARGER IS REQUIRED TO RETAIN RECORDS OF ALL MONITORING INFORMATION, COPIES OF ALL REPORTS REQUIRED BY THIS GENERAL PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY FOR A PERIOD OF AT LEAST THREE YEARS. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE STATE. WITH THE EXCEPTION OF NONCOMPLIANCE REPORTING, DISCHARGERS ARE NOT REQUIRED TO SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.

C. DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE, SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.

F. MAINTENANCE OF CONTROLS

1. MAINTENANCE AND REPAIR

ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION. IF ANY CONTROLS OR MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.

2. PLAN REVISIONS

IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN, THEN THIS PLAN SHALL BE REVISED TO REFLECT THE CURRENT CONDITIONS.

G. FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS

1. AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEPED CLEAN, STORM WATER INLETS (GRATES AND BASINS) SHALL BE CLEANED, AND ALL WASTE AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE.

2. ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER WATERING OF LANDSCAPING.

3. ALL PAVED AREAS SHOULD BE SWEEPED WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAR OF DIRT, DUST, AND DEBRIS.

4. WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.

5. TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEPED CLEAN OF DIRT AND DEBRIS.

6. STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.

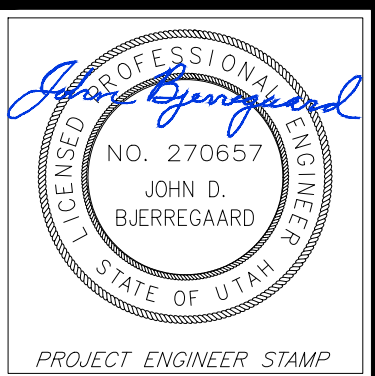
7. ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED "STORM WATER ONLY".

H. COMPLETION OF CONSTRUCTION ACTIVITIES AND NOTICE OF TERMINATION

WHEN CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED ON THIS SITE, THE OWNER SHALL FILE A LETTER WITH THE STATE DEQ DIVISION OF WATER QUALITY. THIS LETTER SHALL CERTIFY THAT THE CONSTRUCTION ACTIVITY HAS BEEN COMPLETED, THAT ALL ELEMENTS OF THE SWPPP HAVE BEEN IMPLEMENTED, THAT CONSTRUCTION AND EQUIPMENT MAINTENANCE WASTES HAVE BEEN DISPOSED OF PROPERLY, THAT THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS, POLICIES, AND GUIDELINES.

DEFINITIONS

1. "BEST MANAGEMENT PRACTICES" ("BMP'S") MEANS SCHEDULES OF ACTIVITIES, PROHIBITIONS OF PRACTICES, MAINTENANCE PROCEDURES, AND OTHER MANAGEMENT PRACTICES TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF THE UNITED STATES. BMP'S ALSO INCLUDE TREATMENT REQUIREMENTS, OPERATING PROCEDURES, AND PRACTICES TO CONTROL SITE RUNOFF, SPILLAGE OR LEAKS, WASTE DISPOSAL, OR DRAINAGE FROM RAW MATERIAL STORAGE.
2. "CLEAN WATER ACT" ("CWA") MEANS THE FEDERAL WATER POLLUTION CONTROL ACT ENACTED BY PUBLIC LAW 92-500 AS AMENDED BY PUBLIC LAWS 95-217, 95-576, 96-483, AND 97-111; 33 USC 1251 ET SEQ.
3. "CONSTRUCTION SITE" IS THE LOCATION OF THE CONSTRUCTION ACTIVITY.
4. "NON-STORM WATER DISCHARGE" MEANS ANY DISCHARGE TO STORM DRAIN SYSTEMS THAT IS NOT COMPOSED ENTIRELY OF STORM WATER EXCEPT DISCHARGE PURSUANT TO AN NPDES PERMIT AND DISCHARGES RESULTING FROM FIRE FIGHTING ACTIVITIES.
5. "SIGNIFICANT MATERIALS" INCLUDES, BUT IS NOT LIMITED TO RAW MATERIALS; FUELS; MATERIALS SUCH AS SOLVENTS, DETERGENTS, AND PLASTIC PELLETS; FINISHED MATERIALS SUCH AS METALLIC PRODUCTS; RAW MATERIALS USED IN FOOD PROCESSING OR PRODUCTION OF HAZARDOUS SUBSTANCES DESIGNATED UNDER SECTION 101(14) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (CERCLA); ANY CHEMICAL THE FACILITY IS REQUIRED TO REPORT PURSUANT TO SECTION 313 OF TITLE III OF SUPERFUND AMENDMENTS AND REAUTHORIZATION ACT (SARA); FERTILIZERS; PESTICIDES; AND WASTE PRODUCTS SUCH AS ASHES, SLAG, AND SLUDGE THAT HAVE THE POTENTIAL TO BE RELEASED WITH STORM WATER DISCHARGES.
6. "SIGNIFICANT QUANTITIES" IS THE VOLUME, CONCENTRATIONS, OR MASS OF A POLLUTANT IN STORM WATER DISCHARGE THAT CAN CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; ADVERSELY IMPACT HUMAN HEALTH OR THE ENVIRONMENT, AND CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARDS FOR THE RECEIVING WATER.
7. "STORM WATER" MEANS STORM WATER RUNOFF, SNOW MELT RUNOFF, SURFACE RUNOFF AND DRAINAGE. IT EXCLUDES INFILTRATION AND RUNOFF FROM AGRICULTURAL LAND.
8. "POLLUTION" MEANS THE "MAN-MADE OR MAN-INDUCED ALTERATION OF THE CHEMICAL, PHYSICAL, BIOLOGICAL, AND RADIOLOGICAL INTEGRITY OF WATER" [CLEAN WATER ACT SECTION 502(19)]. POLLUTION ALSO MEANS "AN ALTERATION OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH UNREASONABLY AFFECTS EITHER... THE WATERS FOR BENEFICIAL USES," OR FACILITIES WHICH SERVE THESE BENEFICIAL USES." [UTAH WATER CODE SECTION 13050(1)].
9. "CONTAMINATION" MEANS "AN IMPAIRMENT OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH CREATES A HAZARD TO THE PUBLIC HEALTH THROUGH POISONING OR THROUGH THE SPREAD OF DISEASE...INCLUDING ANY EQUIVALENT EFFECT RESULTING FROM THE DISPOSAL OF WASTE, WHETHER OR NOT WATERS OF THE STATE ARE AFFECTED."
10. "NUISANCE" MEANS "ANYTHING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: (1) IS INJURIOUS TO HEALTH, OR IS INDECENT OR OFFENSIVE TO THE SENSES, OR AN OBSTRUCTION TO THE FREE USE OF PROPERTY, SO AS TO INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY; (2) AFFECTS AT THE SAME TIME AN ENTIRE COMMUNITY OR NEIGHBORHOOD, OR ANY CONSIDERABLE NUMBER OF PERSONS, ALTHOUGH THE EXTENT OF THE ANNOYANCE OR DAMAGE INFLICTED UPON INDIVIDUALS MAY BE UNEQUAL; (3) OCCURS DURING OR AS A RESULT OF THE TREATMENT OR DISPOSAL OF WASTES."
11. "LOCAL AGENCY" MEANS ANY AGENCY THAT IS INVOLVED WITH REVIEW, APPROVAL, OR OVERSIGHT OF THE CONSTRUCTION SITES' (a) CONSTRUCTION ACTIVITY, (b) EROSION AND SEDIMENT CONTROLS, (c) STORM WATER DISCHARGE.



WASATCH CIVIL
CONSULTING ENGINEERING
1150 DEPOT DRIVE, SUITE 225, OGDEN, UT 84404
(801) 775-9191 WASATCHCIVIL.COM

| | | | |
|------|------|-------|--|
| | | | |
| | | | |
| | | | |
| REV. | DATE | APPR. | |

DESIGNED C.S. DATE JUNE 7, 2024
DRAWN C.S. SCALE: _____
CHECKED M.M. _____

Elite3 Construction
RYAN SAVAGE
420 W. 2ND STREET
OGDEN, UT 84404

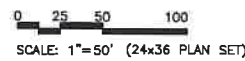
ELITE 3 - HARRISVILLE
EROSION & SEDIMENT CONTROL PLAN
NOTES

SHEET:

7

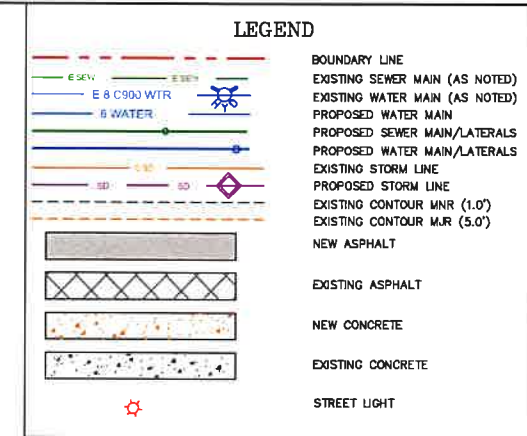
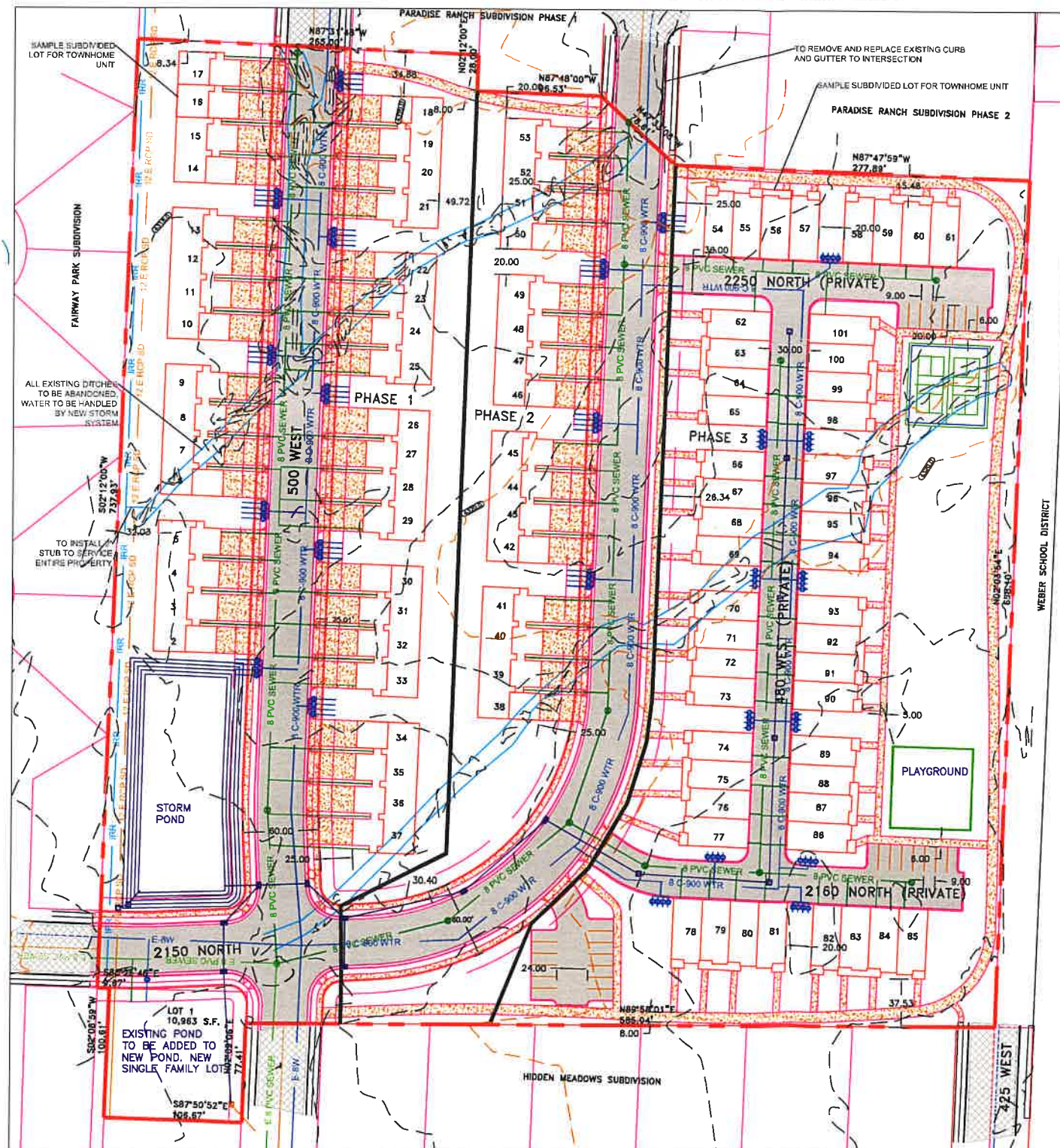
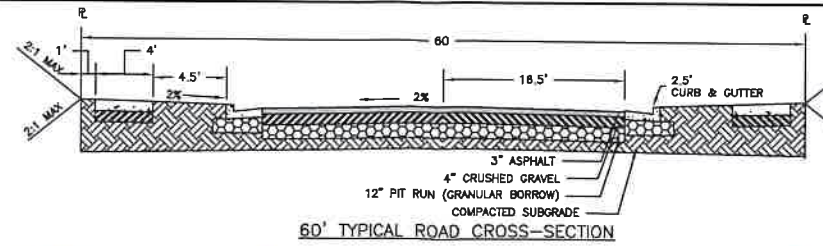
OF 7 SHEETS

Meeting Handouts



PART OF THE SE ¼ OF SECTION 31, TOWNSHIP 7
NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN,
HARRISVILLE, WEBER COUNTY,
UTAH

PRELIMINARY PLAT



VICINITY MAP

NOTES:

1. TOTAL AREA: 11.61 ACRES
2. TOTAL UNITS: 100 UNITS
1 SINGLE FAMILY LOT
3. DENSITY PER GROSS ACREAGE: 8.69 UNITS/ACRE
4. TOTAL REAR LOADED TOWNHOME PARKING SPOTS: 29 SPACES (0.6 PER UNIT)
5. EXISTING ZONE: R3
6. SETBACKS:
FRONT: 25 FEET
SIDE: 8 FEET
SIDE (CORNER): 20 FEET
REAR: 30 FEET
7. ALL TOWNHOME UNITS TO BE SUBDIVIDED INTO INDIVIDUAL PARCELS

**ALLIANCE CONSULTING
ENGINEERS**

150 East 200 North Suite P
LOGAN, UTAH 84321
(435) 755-5121
allianceengr@qwestoffice.net

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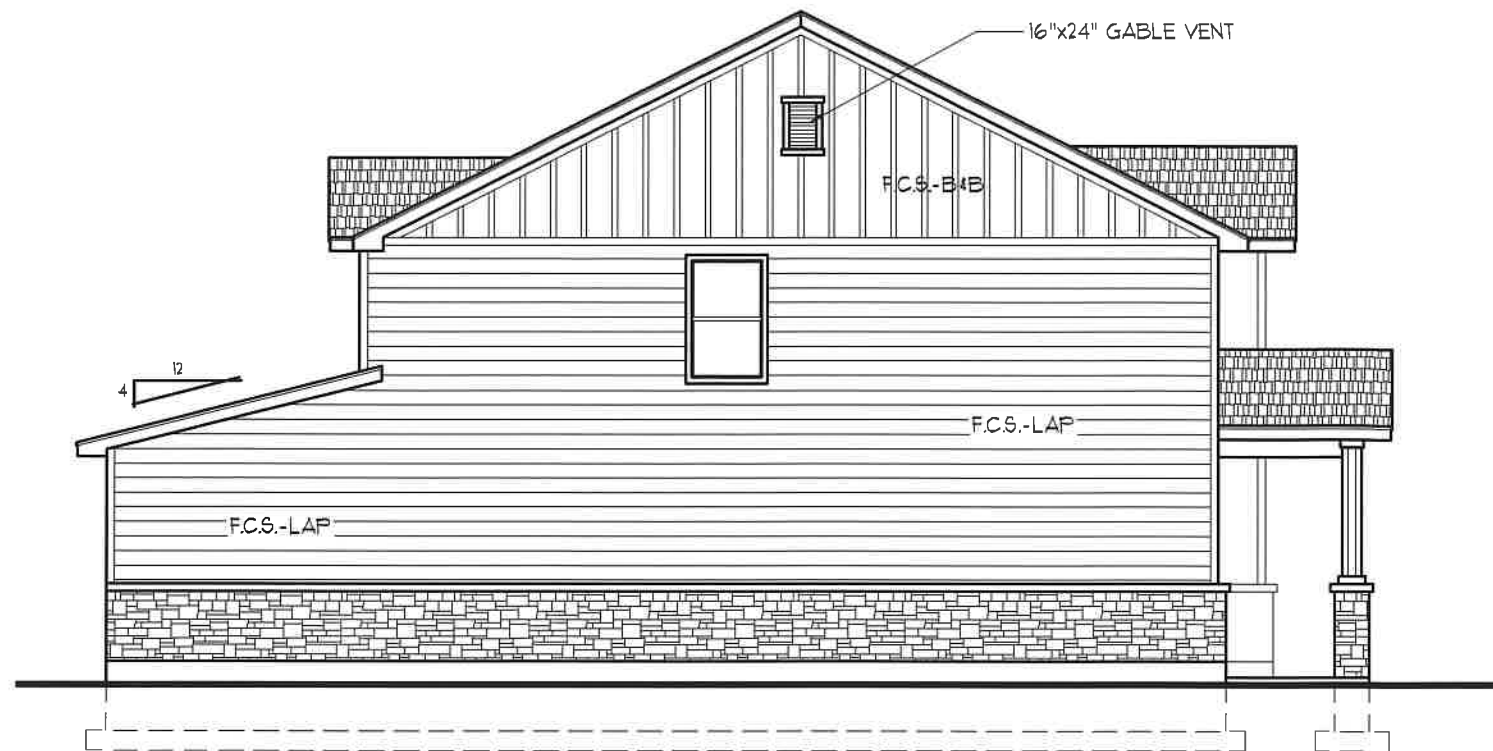
TITLE HEAVENLY ROADS SUBDIVISION
PART OF THE SE $\frac{1}{4}$ OF SECTION 31, TOWNSHIP 7
NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN,
HARRISVILLE, WEBER COUNTY,
UTAH

PRELIMINARY PLAT

DATE: _____

DRAWING No. _____

1



LEFT ELEV. VIEW
SCALE 1/8" = 1'-0"

| | |
|---|-------------------|
| BRICK VENEER | R103.1 |
| CORROSION RESISTANT ANCHOR TIES EMBEDDED IN MORTAR OR GROUT AND EXTENDING INTO THE VENEER A MINIMUM OF 1'-1" INCH, WITH NOT LESS THAN 3" MORTAR OR GROUT COVER TO OUTSIDE FACE. | |
| CORROSION RESISTANT 22 GAGE X 1/8" OR NO. 3 GAGE WIRE SPACED NO MORE THAN 24" O.C. HORIZ. AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 20 SQUARE FEET OF WALL AREA. | |
| STEEL ANGLE - MIN. 6"x4"x1/2" WITH THE LONG LEG VERTICAL. COMPLY WITH SECTION R103.1.2.1 | |
| ALL STONE AND MASONRY VENEER SHALL COMPLY WITH SECTION R103.1 | |
| ATTIC VENTILATION | R206 |
| ATTIC VENTILATION SHALL COMPLY WITH SECTION R206. | |
| THE NET FREE VENTILATION SHALL NOT BE LESS THAN 1/150th OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300th PROVIDED THAT AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER SPACE PORTION OF THE SPACE TO BE VENTILATED AND THE REMAINDER IS PROVIDED BY EAVES OR CORNICE VENTS. IRC R206. | |
| EXTERIOR WALL COVERING | R103 |
| ALL EXTERIOR COVERINGS SHALL COMPLY WITH SECTION R103 | |
| STUCCO/EIFS - INSTALLATION SHALL COMPLY WITH ASTM E 2568 | |
| FIBER CEMENT SIDING - PANEL AND LAP SIDING INSTALLATION SHALL COMPLY WITH ASTM C1106. | |
| VINYL SIDING - INSTALLATION SHALL COMPLY PER ASTM D 3619 | |
| ASPHALT SHINGLES - INSTALLATION SHALL COMPLY WITH ASTM D 225 OR D 3462. CLASS "A" | |
| BUILDING ADDRESS | IRC R319.1 |
| BUILDING NUMBERS SHALL BE A MIN. 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/8" INCH. | |



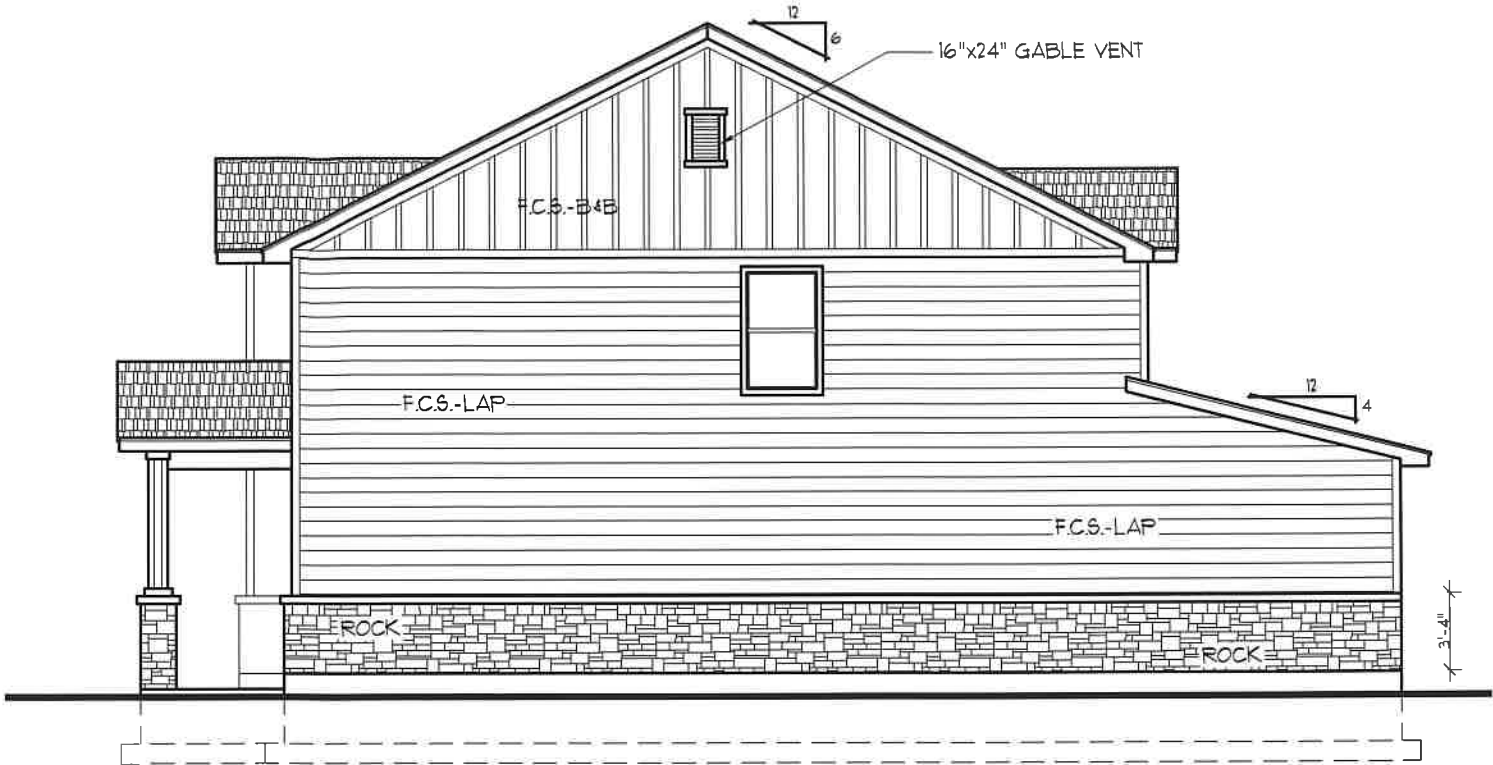
FRONT ELEV. VIEW
SCALE 1/8" = 1'-0"

BID SET - NOT FOR CONSTRUCTION
HEAVENLY ROADS
HARRISVILLE, UTAH

Kustom House Plans
RESIDENTIAL / COMMERCIAL DESIGN & ENGINEERING
NATE KARRAS P.E. (801) 786-0849 email: KustomNK@gmail.com
NOTE: THIS PLAN IS THE PROPERTY OF KUSTOM HOUSE PLANS
DO NOT COPY WITHOUT WRITTEN PERMISSION

SCALE
1/8" = 1'-0" 11x17
1/4" = 1'-0" 24x36
PLAN NUMBER
HEAVEN **A1**

| | |
|---|-------------------|
| BRICK VENEER | R103.1 |
| CORROSION RESISTANT ANCHOR TIES EMBEDDED IN MORTAR OR GROUT AND EXTENDING INTO THE VENEER A MINIMUM OF 1'-1/2" INCH, WITH NOT LESS THAN 3/8" MORTAR OR GROUT COVER TO OUTSIDE FACE. | |
| CORROSION RESISTANT 22 GAGE X 1/8" OR NO. 9 GAGE WIRE SPACED NO MORE THAN 24" O.C. HORIZ. AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 20 SQUARE FEET OF WALL AREA. | |
| STEEL ANGLE - MIN. 6"x4"x3/8" WITH THE LONG LEG VERTICAL. COMPLY WITH SECTION R103.1.2.1 | |
| ALL STONE AND MASONRY VENEER SHALL COMPLY WITH SECTION R103.1 | |
| ATTIC VENTILATION | R206 |
| ATTIC VENTILATION SHALL COMPLY WITH SECTION R206. | |
| THE NET FREE VENTILATION SHALL NOT BE LESS THAN 1/150th OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300th PROVIDED THAT AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER SPACE PORTION OF THE SPACE TO BE VENTILATED AND THE REMAINDER IS PROVIDED BY EAVES OR CORNICE VENTS. IRC R206. | |
| EXTERIOR WALL COVERING | R103 |
| ALL EXTERIOR COVERINGS SHALL COMPLY WITH SECTION R103 | |
| STUCCO(EIFS) - INSTALLATION SHALL COMPLY WITH ASTM E 2568 | |
| FIBER CEMENT SIDING - PANEL AND LAP SIDING INSTALLATION SHALL COMPLY WITH ASTM C1186. | |
| VINYL SIDING - INSTALLATION SHALL COMPLY PER ASTM D 3613 | |
| ASPHALT SHINGLES - INSTALLATION SHALL COMPLY WITH ASTM D 225 OR D 3462, CLASS "A" | |
| BUILDING ADDRESS | IRC R301.1 |
| BUILDING NUMBERS SHALL BE A MIN. 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/8" INCH. | |



RIGHT ELEV. VIEW
SCALE 1/8" = 1'-0"

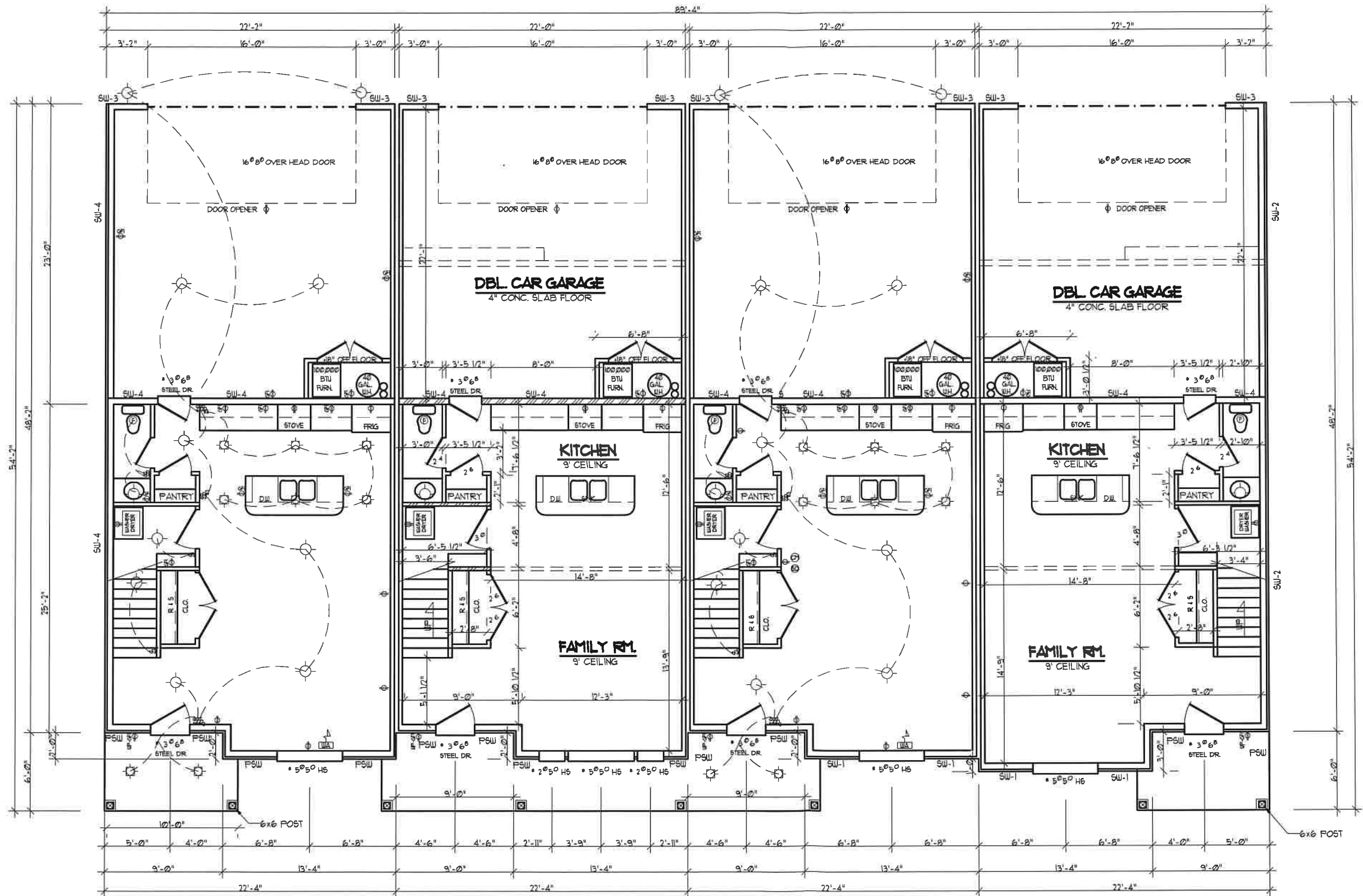


REAR ELEV. VIEW
SCALE 1/8" = 1'-0"

BID SET - NOT FOR CONSTRUCTION
HEAVENLY ROADS
HARRISVILLE, UTAH

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| | | |
|-------------|--------------|-------|
| SCALE | 1/8" = 1'-0" | 11x17 |
| | 1/4" = 1'-0" | 24x36 |
| PLAN NUMBER | HEAVEN | |
| | A2 | |



MAIN FLOOR PLAN
SCALE 1/8" = 1'-0"
594 SQ. FT.

NOTES: GENERAL

1. CONTRACTOR IS TO VERIFY DESIGN DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.
2. ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
3. ALL WORK IS TO BE DONE UNDER LOCAL AND STATE BUILDING CODES.
4. ELECTRICAL SHALL BE PER NATIONAL ELECTRIC CODE, LATEST EDITIONS.
5. HEATING/MECHANICAL WORK SHALL BE PER APPLICABLE CODES, LATEST EDITIONS.

NOTES: STRUCTURAL

SEE STRUCTURAL DETAILS - SHEET 6-1, 6-2, AND 6-3

NOTE: MECHANICAL

WATER HEATER SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.

BID SET - NOT FOR CONSTRUCTION
HEAVENLY ROADS
HARRISVILLE, UTAH

Kustom House Plans

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SCALE
1/8" = 1'-0" 11x17
1/4" = 1'-0" 24x36

PLAN NUMBER
HEAVEN A4

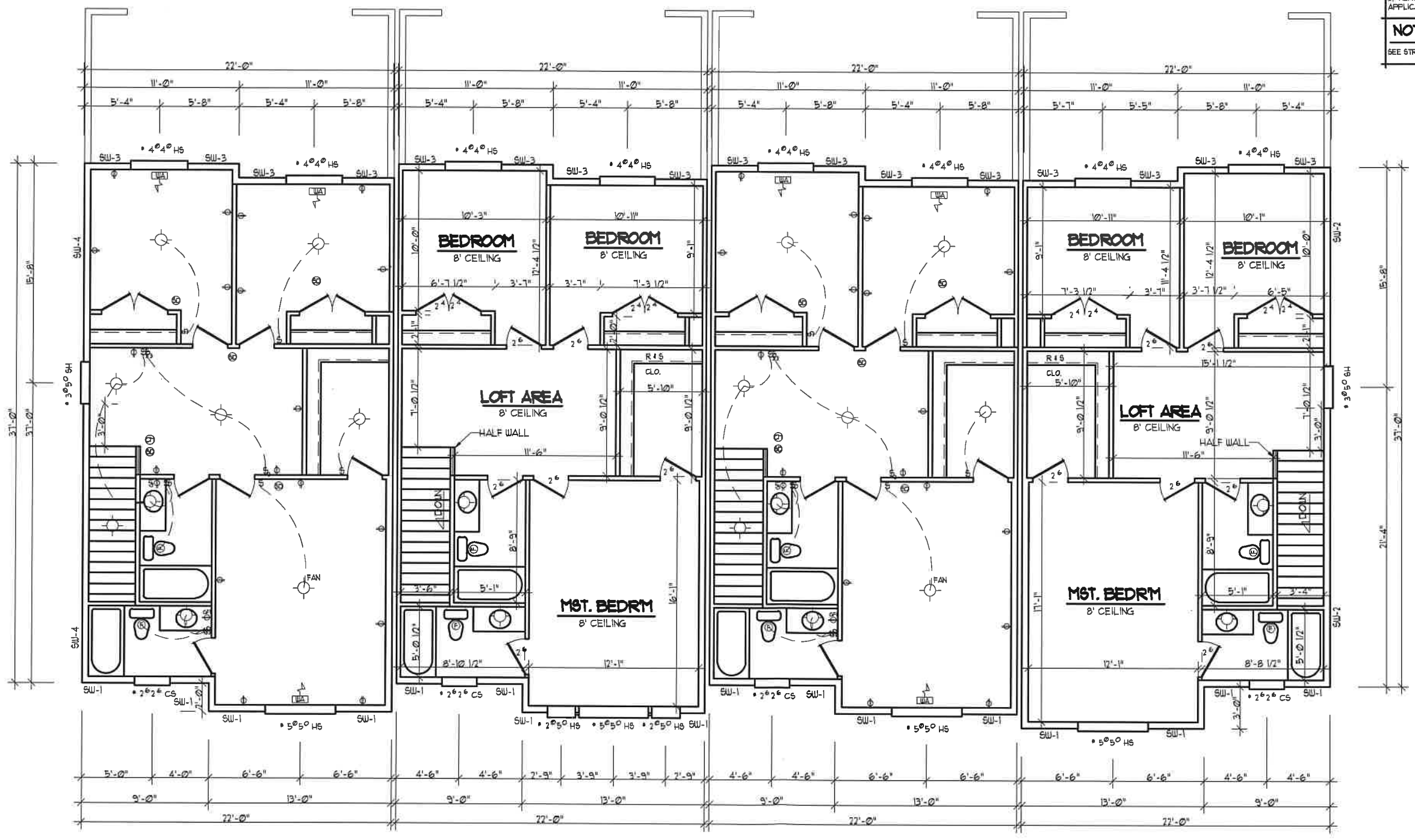
- NOTES: GENERAL
1. CONTRACTOR IS TO VERIFY DESIGN, DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.

2. ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.

3. ALL WORK IS TO BE DONE UNDER LOCAL AND STATE BUILDING CODES.

4. ELECTRICAL SHALL BE PER NATIONAL ELECTRIC CODE, LATEST EDITIONS.

5. HEATING/MECHANICAL WORK SHALL BE PER APPLICABLE CODES, LATEST EDITIONS.
- NOTES: STRUCTURAL
- SEE STRUCTURAL DETAILS - SHEET S-1, S-2, AND S-3



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"
828 SQ. FT.

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"
828 SQ. FT.

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"
828 SQ. FT.

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"
841 SQ. FT.

Kustom House Plans

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BID SET - NOT FOR CONSTRUCTION

HEAVENLY ROADS

HARRISVILLE, UTAH

SCALE

1/8" = 1'-0" 11x17

1/4" = 1'-0" 24x36

PLAN NUMBER

HEAVEN

A5



4 June 2024

TO BONA VISTA WATER AND ALL CITIES RECIEVING WATER FROM WESTERN IRRIGATION,

All new developments require a review by Western Irrigation of the number of shares owned by the development to determine adequate water available before a will serve letter will be issued to Bona Vista Water.

The current requirement is 10 shares per acre. After the review, the required shares will be committed to that property location and cannot be transferred or sold, to protect the water for future users.

Western Irrigation Board of Directors also require all transfer fees, crossing fees, permits and ditch relocations or resizing be completed with an inspection by the company president or appointed director.

Developments that are known

Larsen lane 4.09 acres- water unknown ?

1100 N Costley Ditch- 72.9 shares Acres?

863 N Harrisville Rd-107.62 shares 37.26 acres

City property 750 W- 10 shares 12.66 acres

750 W- Elite 3- No water

Entity X- 75 Shares 66.15 acres

Warren Hollow 57.50 shares of water 8.57 acres

(The lateral that feeds the system is plugged or the pipe is collapsed, that will need to be addressed.)

Thanks for your cooperation,

Clint Farrell
Western Irrigation Board of Directors

From: **Dennie** <utahtractors@yahoo.com>

Date: Mon, Mar 25, 2024 at 9:40 PM

Subject: Western Irrigation Company

To: Mattr@jonescivil.com <mattr@jonescivil.com>

Cc: Clint Farrell <cltonfarrell@aol.com>, marvinfarrell@msn.com <marvinfarrell@msn.com>

☐

D tractor

To: Mattr@jonescivil.com

Cc: You; Clint Farrell

☐ ☐ ☐ ☐ ☐

Mon 3/25/2024 9:40 PM

☐ **Flagged**

Because of the Cost and size of the canal it has come time that Western Irrigation Company can no longer have the Canal used as a Storm Sewer Drain. During storm events we exceed our capacity in several areas even with the inlet head gate closed at the mouth of Ogden Canyon. As of April 1, 2024 No new Storm Water will be added to the canal from future developments or roads. This not only will apply to the Private main canal but also the attached private Laterals and or delivery Systems. Irrigation systems are regulated by the Utah Code chapter 73 as well as city Ordinance. Free use of the irrigation systems for Storm Water disposal is not an appropriate use of a private or public water system. . This will apply to any new storm water and also increased or additional future flows from current Municipal Drains. If you have further Questions or concerns please contact myself or Marv Farrell.

Dennis Illum

President Western Irrigation Company
801-391-2333

Marv Farrell

Harrisville Rep.
801-391-1616